



City of Guadalupe

AGENDA

Special Meeting of the Guadalupe City Council

Tuesday, June 18, 2024, at 6:00 pm
City Hall, 918 Obispo Street, Council Chambers

and

1775 East County Rd. 1300
Carthage, IL 62321

The City Council meeting will broadcast live streamed on the City of Guadalupe's Official YouTube channel: <https://www.youtube.com/channel/UCaxeHWd9JkmvKnGFU8BAYQQ>

If you choose not to attend the City Council meeting but wish to make a comment during Community Participation Forum or on a specific agenda item, please submit via email to juana@ci.guadalupe.ca.us no later than 2:00 pm on Tuesday, June 18, 2024.

Please be advised that, pursuant to State Law, any member of the public may address the City Council concerning any item on the Agenda, before or during Council consideration of that item. If you wish to speak on any item on the agenda, including any item on the Consent Calendar or the Ceremonial Calendar, please submit a speaker request form for that item. If you wish to speak on a matter that is not on the agenda, please do so during the Community Participation Forum.

The Agenda and related Staff reports are available on the City's website: www.cityofguadalupe.org Friday before Council meeting.

Any documents produced by the City and distributed to a majority of the City Council regarding any item on this agenda will be made available the Friday before Council meetings at the Administration Office at City Hall 918 Obispo Street, Monday through Friday between 8:00 am and 4:30 pm, and also posted 72 hours prior to the meeting. The City may charge customary photocopying charges for copies of such documents. Any documents distributed to a majority of the City Council regarding any item on this agenda less than 72 hours before the meeting will be made available for inspection at the meeting and will be posted on the City's website and made available for inspection the day after the meeting at the Administrator Office at City Hall 918 Obispo Street, Monday through Friday between 8:00 am and 4:30 pm.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, including review of the Agenda and related documents, please contact the Administration Office at (805) 356.3891 at least 72 hours prior to the meeting. This will allow time for the City to make reasonable arrangements to ensure accessibility to the meeting.

1. ROLL CALL:

Council Member Christina Hernandez
Council Member Gilbert Robles
Council Member Whitney Furness
Mayor Pro Tempore Eugene Costa Jr.
Mayor Ariston Julian

2. PLEDGE OF ALLEGIANCE

3. COMMUNITY PARTICIPATION FORUM

Each person will be limited to a discussion of three (3) minutes or as directed by the Mayor. Pursuant to the provisions of the Brown Act, no action may be taken on these matters unless they are listed on the agenda, or unless certain emergency or special circumstances exist. City Council may direct staff to investigate and/or schedule certain matters for consideration at a future City Council meeting.

REGULAR BUSINESS

4. ROYAL THEATER PROJECT PRESENTATIONS AND UPDATE.

- A. Thomas Brandeberry, Project Manager
 - 1. Presentation
 - 2. Precision Estimating Services – Royal Theater Construction Cost Estimate

- B. Andrew Goodwin Designs, Architect
 - 1. Presentation

3. ADJOURNMENT

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the City Hall display case and website not less than 24 hours prior to the meeting. Dated this 14th day of June 2024.

Todd Bodem

Todd Bodem, City Administrator



Progress to Date

\$10M Funding To Date

Building Listed as Historic

Plans 100% Approved

APN Merger

Plan Check Complete

Permits Issued

Bid Package Approved





Historic Status

- ❖ Historic Report Available
- ❖ Royal Theatre is recognized by Federal & State as Historic Building
- ❖ Architectural & Cultural Importance
- ❖ Historic Tax Credit Process Approved Including Renovation of the Theatre
- ❖ However, this Funds is Presently Unavailable



Remaining Issues To Complete

- Financial Gap (Approximately \$3M)
- RFP for an Operation
- Release Bid Package
- Hire a Construction Contractor



Planned Programing

- Community Events/Use
 - Nonprofit Event Access
 - Film Festivals
 - Film Classes for GUSD Students
 - Performing Arts Education (PCPA)
 - Performances (Comedy, Bands)
 - Lecture Series
 - Multicultural Events Calendar
- * Operator Advisory Committee

Importance of the Project

Economic: Anchor For the Downtown

- More Visitors
- Jobs Creator
- Increase in Business Revenue
- Increase Sale Tax
- Development of Vacant Land

Historic Value

- Renovation of a Historic Building
- Remembrance of the Japanese Community and Internment
- Community Pride in having a Federally Recognized Historic Building
- Saving the Memories of the Community's Time in the Theatre



Importance of the Project

• Art and Entertainment

- The First Performing Art Center for Guadalupe
- A Varied Event's Calendar (Comedy, to Film Festivals, to Music and Dance, Authors, and More)
- Multicultural Emphasis

• Community Use

- Community Access (GUSD, Nonprofits, Dance Troupe, Open Mics, and more)



Present Funding Sources

*Economic Development
Administration (EDA):*

\$4,889,121

*California Arts Council (CAC):
\$5M*

*RDA Funds (Successor Agency
funds): \$600,000*

Total: \$10,489,121

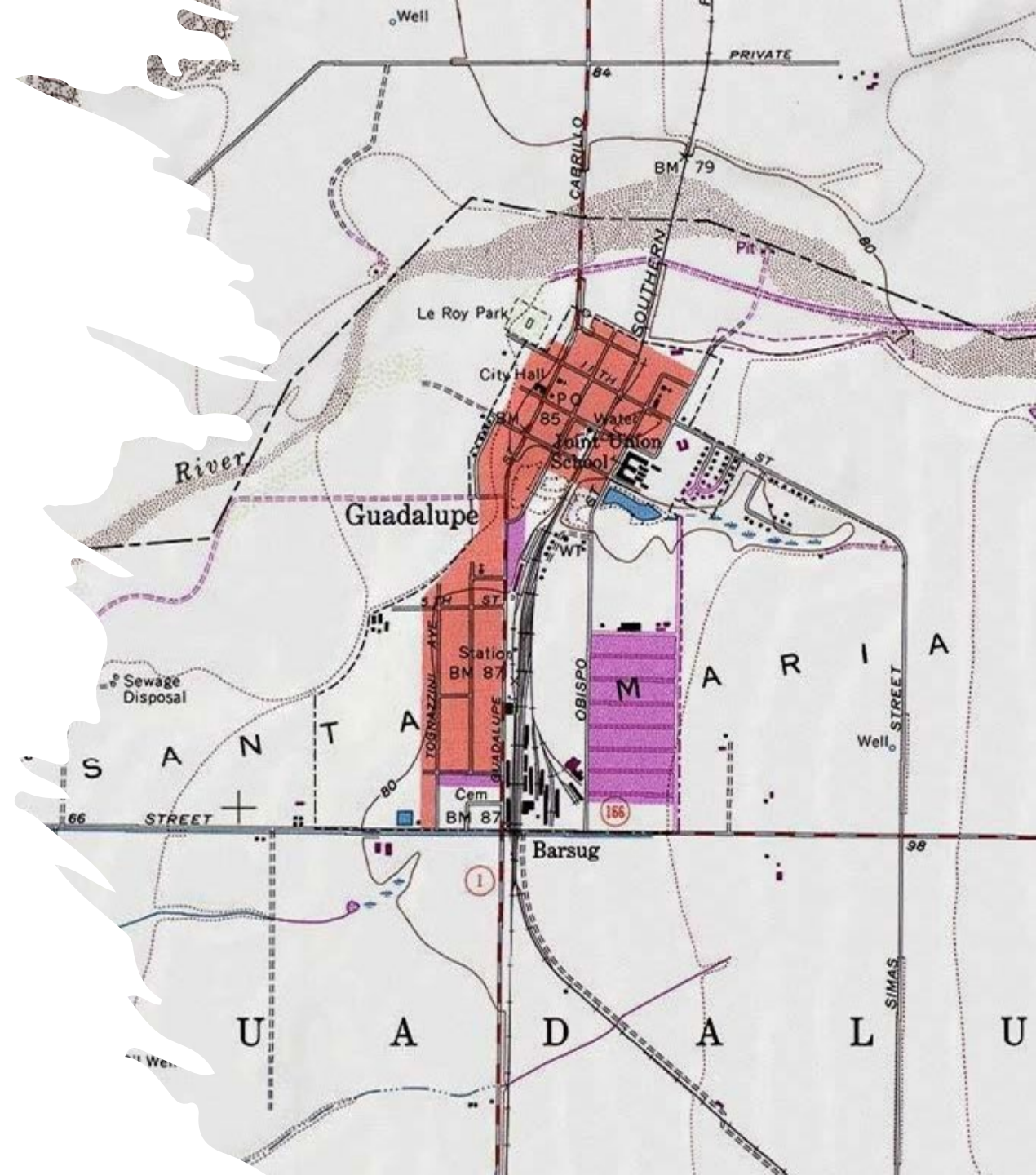
City Plans

All recent City plans point to the need for the Royal Theatre to be renovated for the downtown of Guadalupe to be revitalized, to come back to life:

✓ *General Plan,*

✓ *Resilience Guadalupe Plan,*

✓ *Revitalization and Mobility Plan*



Royal Theatre Renovation Project	
Project Costs (Uses)	
Construction:	
• Building:	\$9,717,886
• Site Work:	\$1,182,297
Total Construction Cost¹	\$10,900,183
Soft Cost:	
• Design Team	\$656,647
• Project Manager:	\$300,000
• Construction Manager (Increase for delay included=1%)	\$752,952
• Environmental Clearance (multi-vendors)	\$7,600
• Attorneys' Costs ²	
o Tax Credit	• 12,845
o Bond	• 20,000
o Nonprofit Attorney	• \$4,000
o RDA (successor Agency)	• \$9883
o City Attorney	• <u>\$10,854</u>
Total	\$57,573
• Prevailing Wage Consultant	\$30,000
• Historic Consultant	\$4,000
• Construction Estimators (2)	\$15,800
• PG&E (not a final number)	\$36,500
• Lot Merger/Title Reports	\$7,000
• Historic Architect	\$35,000
• Consultant Services (Tax Credit/Bond/Application)	\$25,000
• Plan Check	\$7,500
• City Review	\$7,100
Total Non-Construction Costs (soft costs)	\$1,885,099³
Total Project Costs	12,785, 282
Operation, Maintenance, and Capital Replacement Reserves	\$400,000⁴
Final Estimated Cost	\$13,185,282
Project Funding (Sources)⁵	
Economic Development Administration (EDA)	\$4,889,121
California Arts Council (CAC)	\$5,000,000
Successor Agency (City Funds Set Aside for the Royal Theatre)	\$600,000
Available Funds	\$10,489,121
Gap	\$2,696,161

¹ This is an estimate. The actual construction cost will be available once the City receives bids and the lowest, responsive bid is determined.

² Additional Attorney Fees will be needed.

³ The amount is based on the awarded contract, with some cost open (attorney fees). A contingency of 3% to 5% could be added, but has not, for financial safety.

⁴ It is usual and important that funding is set aside reserve. Especially with a newly opened operation, and to ensure future financial issues (new roof, for examples), have reserve funds to address unexpected costs. They usually consist of three types: Operation, Maintenance, and Capital Replacement. This also helps when unforeseen operating issue, like Covid, should arise.

⁵ Due to the federal restrictions, the HTC are highly unlikely to be available for this project. They would have represented approximately \$600,000-\$700,000 to the project funding.

Tax Credit Issues

New Market Tax Credits (NMTC)

- Investments to Nonprofit Only—Cannot fund City
- No Investors Found Due to Project not Doing the Right Activity
- Only Recently told to City
- Created the Gap

Historic Tax Credits (HTC)

- Investments to For-profit Only— Cannot fund City
- EDA Indicated they Would not be able to partner with For Profit private -- “enriching” Rule
- If City Should Lose the EDA Funds, City can use the HTC for the Project Funding

Other Funding Sources

- Banks (Commercial Loans)**
- Federal/State Legislators**
- USDA Rural Loans**
- Foundations**
- Capital Campaign**
- General Obligation Bond**

The goal, to ensure long term sustainability, is for the project to not carry debt. Asking a nonprofit to include debt in their operating cost is putting the project at risk. Specially debt from a commercial loan, and even the USDA Rural Loans would require monthly debt service.

The GO Band meets the above goal of zero debt to the project.



Assessed Value of Single-Family Home			
\$100,000	\$200,000	\$300,000	\$400,000

Estimated Additional Annual Property Taxes	\$28	\$56	\$84	\$112
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City of Guadalupe Royal Theatre Renovation Project Proposed \$2,990,000 General Obligation Bond Estimated Average Annual Property Tax Increase by Land Use Category					
Land Use Category	Parcel Count	Net Taxable Assessed Value	Share of Net AV	Average AV Per Parcel	Estimated Average Annual Property Tax Increase
Single-Family Residence	1,728	474,857,908	71.9%	274,802	77
Light Manufacturing	3	43,513,032	6.6%	14,504,344	4,061
Packing Plants	5	27,045,292	4.1%	5,409,058	1,515
Apartments (5 or more units)	41	21,927,551	3.3%	534,818	150
Residential Rentals	72	17,436,392	2.6%	242,172	68
Vacant Land	41	15,379,238	2.3%	375,103	105
Condo	75	10,937,111	1.7%	145,828	41
Commercial	31	9,532,164	1.4%	307,489	86
Nurseries, Greenhouses	1	7,307,701	1.1%	7,307,701	2,046
Other	117	32,761,816	5.0%	280,016	78
	2,114	660,698,205	100.0%	312,535	88

Notes:

Assessed values are based on 2023 Tax Year.
 \$2,990,000 of bond proceeds are applied as follows:
 \$2,750,000 is deposited to the Royal Theatre Project Fund.
 \$160,000 is deposited to the Cost of Issuance Fund.
 \$65,000 is deposited to the Capitalized Interest Account.
 \$15,000 is deposited to the Contingency Account.

Tax-exempt bond interest rates are based on municipal bond market conditions as of May 24, 2024.
 Actual bond interest rates will depend on municipal bond market conditions in January, 2025.



Contacts

- **Architect, Andrew Goodwin**

- andrew@andrewgoodwin.us

- **City Administrator, Todd Bodem**

- tbodem@ci.guadalupe.ca.us

- **Mayor, Ariston Julian**

- ariston.julian3@me.com

- **Project Manager, Tom Brandeberry**

- brandeberrytom@gmail.com

PRECISION

ESTIMATING SERVICES



GUADALUPE ROYAL THEATER

CONSTRUCTION COST ESTIMATE

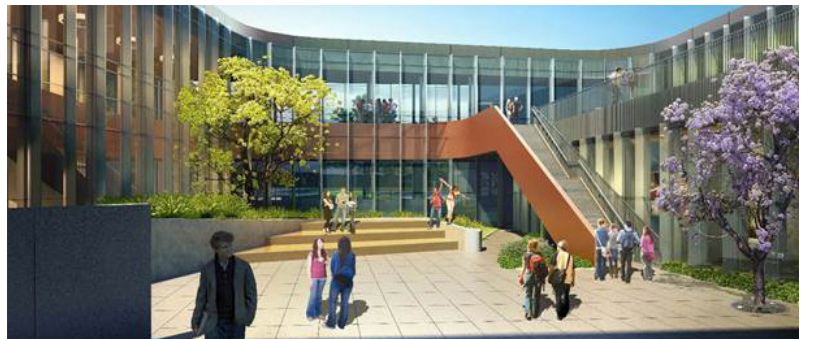


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2. ESTIMATE SUMMARY
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EXECUTIVE
SUMMARY

EXECUTIVE SUMMARY

(1) INTRODUCTION

- The project scope encompasses the renovation and the Royal Theater located at 848 Guadalupe Street, in Guadalupe, California
- This estimate has been prepared for the purpose of establishing a probable cost of construction at the bid ready stage of design.
- This estimate has been organized by CSI Divisions.
- Estimate engagement resources
 - Plan check rev. 2 set, dated 01/31/2024, prepared by Andrew Goodwin Designs
 - Technical specifications, dated 06/15/2023, prepared by Andrew Goodwin Designs

(2) CONSTRUCTION SCHEDULE ASSUMPTIONS

START DATE	MIDPOINT	COMPLETION DATE
May-2025	Oct'2025	Mar-2026

(3) ASSUMPTIONS & EXCLUSIONS

· This document should be read in association with Appendix 1 which outlines assumptions, project understanding, approach, and cost management methodology.

Assumptions:

- Prevailing wage rates
- contractor grade finish
- Project completed in a single phase
- Historic preservatons applies to areas indicated in plan only

Exclusions:

- Furnishing & equipment
- Travel & per diem costs
- Dewatering of excavations
- Hazardous material abatement

(4) SUMMARY OF COST FINDINGS

ELEMENT	BLDG AREA (SF)	COST / SF	TOTAL
BUILDING	13,407	\$542	\$7,260,353
SITE	13,407	\$183	\$2,457,533
TOTAL BASE CONSTRUCTION BUDGET	13,407	\$725	\$9,717,886



ESTIMATE
SUMMARY

Guadalupe Royal Theater

Bid Set Cost Estimate



3480 S. Higuera, Suite 130
San Luis Obispo, CA 93401
Phone: 805.995.4195
www.PrecisionES.com

PROJECT BREAKDOWN

BUILDING PARAMETERS

Existing building floor area	5,088	SF
Building addition floor area	8,319	SF
Total building floor area	13,407	SF

SITE PARAMETERS

Size of project site	19,338	SF
Square feet of new hardscape	13,500	SF
Square feet of new softscape	5,838	SF
Number of stalls in new parking area	4	EA

COST BREAKDOWN

Direct cost per total floor area	\$498 / SF
Total cost per total floor area	\$725 / SF

Direct Cost Subtotal	\$6,671,370
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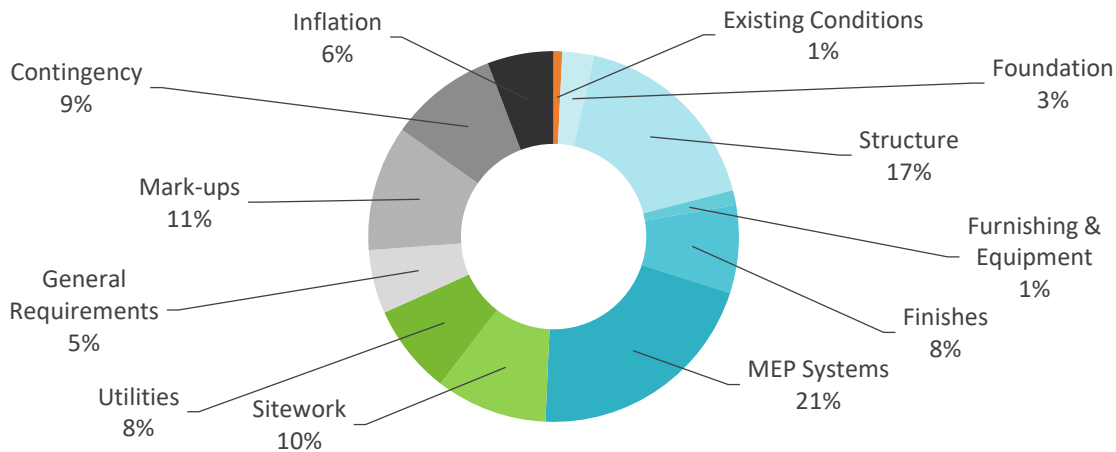
General Requirements	\$533,710
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Mark-up Cost	\$1,051,408
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Contingency Cost	\$1,461,398
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TOTAL BASE PROJECT BUDGET	\$9,717,886
TOTAL BID OPTION BUDGET	\$1,182,297

Distribution of Project Costs



Guadalupe Royal Theater

Bid Set Cost Estimate



3480 S. Higuera, Suite 130
San Luis Obispo, CA 93401
Phone: 805.995.4195
www.PrecisionES.com

DIVISION COST SUMMARY

ITEM		TOTAL COST / SF	DIRECT COSTS
02 40 00	Demolition & Structure Moving	\$49	\$73,449
03 00 00	Concrete Division	\$179	\$265,079
05 00 00	Metals Division	\$416	\$618,081
06 00 00	Wood, Plastic, & Composites	\$264	\$392,218
07 00 00	Thermal & Moisture Protection	\$119	\$176,807
07 40 00	Roofing & Side Panels	\$93	\$137,745
07 70 00	Roofing Specialties & Accessories	\$7	\$10,403
08 10 00	Doors & Frames	\$102	\$150,845
08 40 00	Entrances, Storefronts & Curtain Walls	\$126	\$186,922
08 50 00	Windows	\$2	\$3,240
09 20 00	Lath & Plaster	\$95	\$141,248
09 29 00	Gypsum Board	\$64	\$95,192
09 30 00	Tiling	\$56	\$82,544
09 50 00	Ceilings	\$92	\$136,494
09 60 00	Flooring	\$108	\$160,496
09 70 00	Wall Panels	\$23	\$34,394
09 90 00	Painting & Coating	\$59	\$86,880
10 00 00	Specialties	\$78	\$116,299
12 00 00	Furnishings	\$83	\$122,553
14 00 00	Conveying Systems	\$148	\$218,970
21 00 00	Fire Suppression	\$129	\$191,050
22 00 00	Plumbing	\$166	\$246,354
23 00 00	Heating, Ventilation & Air Conditioning	\$287	\$425,945
26 00 00	Electrical	\$516	\$766,261
28 00 00	Fire Safety & Security	\$98	\$144,796
31 20 00	Earthwork & Grading	\$67	\$99,462
31 25 00	Erosion & Sedimentation Controls	\$5	\$7,800
32 12 00	Flexible Paving	\$17	\$25,625
32 13 00	Rigid Paving	\$104	\$153,998
32 16 00	Curb & Gutters	\$16	\$23,613
32 17 00	Paving Specialties	\$18	\$27,378
32 30 00	Site Improvements	\$42	\$62,834
32 31 00	Fences & Gates	\$16	\$24,183
32 32 00	Retaining Walls	\$272	\$403,239
32 80 00	Irrigation	\$12	\$17,457
32 90 00	Planting	\$60	\$89,537
33 10 00	Water Utilities	\$53	\$79,080
33 30 00	Sanitary Sewerage Utilities	\$315	\$467,558
33 40 00	Storm Drain	\$116	\$172,420
33 50 00	Fuel Distribution Utilities	\$22	\$32,924

Guadalupe Royal Theater

Bid Set Cost Estimate



3480 S. Higuera, Suite 130
San Luis Obispo, CA 93401
Phone: 805 995 4195
www.PrecisionES.com

TOTAL DIRECT COSTS	\$4,495	\$6,671,370
General Requirements	8.0%	\$533,710
Bonding & Insurance	2.5%	\$166,784
Contractor Fee (OH&P)	12.0%	\$884,624
CONSTRUCTION COST SUBTOTAL		\$8,256,488
Design Contingency	5.0%	\$412,824
Construction Contingency	6.0%	\$495,389
Escalation to Midpoint of Construction	6.7%	\$553,185
TOTAL BASE PROJECT BUDGET		\$9,717,886
BID OPTIONS COST SUMMARY		
ITEM		DIRECT COSTS
Kitchen equipment and Furnishings		\$390,000
Audio, Visual, and Stage Lighting		\$275,000
URM Crack Repair		\$155,000
BID OPTIONS DIRECT COST		\$820,000
General Requirements	8.0%	\$65,600
Bonding & Insurance	2.5%	\$20,500
Contractor Fee (OH&P)	12.0%	\$98,400
CONSTRUCTION COST SUBTOTAL		\$1,004,500
Design Contingency	5.0%	\$50,225
Construction Contingency	6.0%	\$60,270
Escalation to Midpoint of Construction	6.7%	\$67,302
TOTAL BID OPTIONS BUDGET		\$1,182,297

DETAILED
ESTIMATE

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
02 40 00 DEMOLITION AND STRUCTURE MOVING					\$73,449
Structure Demolition					
Demo main panelboard at second floor	1	EA	\$1,065	\$1,065	
Demo meter to main panelboard	1	EA	\$938	\$938	
Remove concessions counter for replacement	21	LF	\$70	\$1,470	
Remove door	11	EA	\$107	\$1,177	
Remove post	1	EA	\$81	\$81	
Remove roof mounted equipment, patch and repair roof	1	EA	\$2,875	\$2,875	
Remove stairs	67	SF	\$19	\$1,256	
Remove urinal	2	EA	\$119	\$238	
Remove wall	273	LF	\$28	\$7,508	
Remove water closet	4	EA	\$132	\$528	
Remove (e) roof system, assess underlayment and replace if necessary	4,700	SF	\$1.20	\$5,640	
Remove existing drain system	6	EA	\$132	\$792	
Remove existing scupper box and rain water leader	1	EA	\$244	\$244	
Remove plumbing vent	5	EA	\$132	\$660	
Remove roof vent, patch and repair (n) plywood and membrane roof	8	EA	\$107	\$856	
Gut interiors of fittings, fixtures, and finishes	5,088	SF	\$4.10	\$20,861	
Salvage, Recycle and Disposal of Debris					
Disposal of construction debris	1	LS	\$27,260	\$27,260	

03 00 00 CONCRETE DIVISION **\$265,079**

Structure Foundation					
New building foundations, including:	1	LS	\$65,860	\$65,860	
Continuous footing, 1'6x2'6 (min), 21/S2.1	39	LF			
Continuous footing, 2'-0"x2'-0"D(min), curb 5-1/2"widx6"tall, 12/S2.1	35	LF			
Continuous footing, 2'6x2'6 (min), 21/S2.1	9	LF			
Continuous footing, 3'-0"x2'-0"D(min), curb for double framed wall x 8"tall, 22/S2.2	22	LF			
Continuous footing, 3'-6"x3'-0"D(min), 30/S2.1	34	LF			
Continuous footing, 4'x3'(min), 6/S2.2	42	LF			
Pad footing, 13'3x8'	2	EA			
Pad footing, 1'6x1'6	2	EA			
Pad footing, 2'6x1'6	1	EA			
Pad footing, 2'x2'	1	EA			
Pad footing, 3'3x3'3	2	EA			
Pad footing, 3'9x3'9	1	EA			
Pad footing, 4'3x4'3	1	EA			
Pad footing, 4'6x4'6	1	EA			
Pad footing, 4'6x8'	2	EA			
Pad footing, 4'9x4'9	1	EA			
Pad footing, 5'6x5'6	1	EA			
Pad footing, 7'x7'	1	EA			
Helical anchors	4	EA	\$4,435	\$17,740	
Drill and dowel anchors into existing foundation and slab	1	LS	\$2,560	\$2,560	
Concrete embedded hardware	1	LS	\$7,860	\$7,860	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
Slab-On-Grade					
New slab on grade	3,622	SF	\$12	\$44,370	
Pour-back concrete slab	416	SF	\$19	\$7,904	
Cast-In-Place Concrete					
Raised concrete floor over existing slab	2,571	SF	\$8.10	\$20,825	
CIP concrete stairs, 3'8 wide, 4 risers	11	SF	\$327	\$3,597	
Concrete shear wall, 10" thick	34	LF	\$434	\$14,756	
Free-standing concrete wall	42	LF	\$419	\$17,598	
Elevator pit and slab, 9'2"x10'3"	1	LS	\$11,310	\$11,310	
Concrete wall	121	LF	\$419	\$50,699	

No dewatering of footings included in costs.

Excavation of footings included in cost. Off haul of spoils are included under the Earthworks division

05 00 00 METALS DIVISION **\$618,081**

Structural Steel Framing					
Structural steel improvements, including:	1	LS	\$387,250	\$387,250	
Column, HSS12x8x5/8	6	EA			
Column, HSS14X4X1/2	16	EA			
Column, HSS16X4X5/8	4	EA			
Column, HSS5	20	EA			
Column, HSS6X6X1/2	68	EA			
Column, HSs6X8X5/8	8	EA			
W14x53	4	EA			
W14x82	4	EA			
W14x53	38	LF			
W12x45	38	LF			
HSS14x6x1/2	24	LF			
W16x67	25	LF			
W14x48	24	LF			
W12x26	11	LF			
W14x23	17	LF			
W14x90	34	LF			
W14x38	38	LF			
W18x76	28	LF			
W18x76	22	LF			
W14x53	29	LF			
Steel Stud Framing					
Interior wall, (2) 4" 20ga steel studs@16"o.c., 1" airgap, (2)layers sound insulation	87	LF	\$108	\$9,396	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
Steel Fabrications					
Access ladder at elevator shaft, 7'x1'5"	1	EA	\$6,795	\$6,795	
Prefab metal stair package, including:	1	LS	\$134,850	\$134,850	
Prefab metal stairs, 10 risers, 4'-0" wide	34	SF			
Prefab metal stairs, 12 risers and 14 risers, 4'-8" wide, 1 intermediate landings 5'6x5'4"	342	SF			
Prefab metal stairs, 12 risers, 4'-0" wide	41	SF			
Prefab metal stairs, 12 risers, 4'-8" wide	43	SF			
Prefab metal stairs, 16 risers, 4'-0" wide	53	SF			
Prefab metal stairs, 2 risers, 3'-2" wide	4	SF			
Prefab metal stairs, 4 risers, 3'-2" wide	18	SF			
Prefab metal stairs, 7 risers, 3'-2" wide	17	SF			
Prefab metal stairs, 7 risers, 4'-0" wide	23	SF			
27"H max barrier under stairs	19	LF			
6" Curb barrier under stair	20	LF			
Noseguard w/ abrasive contrasting color striping	69	LF			
Guardrail, 42" high, prefab	343	LF	\$102	\$34,986	
Handrail, 36" H, 1-1/2"	379	LF	\$61	\$23,024	
Libart Panora Kinetic Telescopic Windbreak, A5.06	55	LF	\$396	\$21,780	

06 00 00 WOOD, PLASTIC, COMPOSITES \$392,218

Floor and Deck Framing					
Structural wood framing members	1	LS	\$64,880	\$64,880	
Floor framing	5,902	SF	\$15	\$85,579	
Built-up wood floor	111	SF	\$19	\$2,109	
Wall Framing					
Exterior wall, 2x6@16" o.c., R-19 cellulose insulation by Greenfiber, INS541LD	250	LF	\$72	\$17,938	
Exterior wall, 2x6@16" o.c., R-19 cellulose insulation by Greenfiber, INS541LD, 2HR rated	126	LF	\$72	\$9,041	
Furring wall, 6" w/ 6"x6" HSS@4'o.c., R-21 batt insulation	24	LF	\$51	\$1,224	
Furring wall, 6" w/ 6"x6" HSS@4'o.c., R-21 batt insulation, height varies from 18' to 20'	114	LF	\$72	\$8,237	
Interior wall, 2x4@16"o.c., R-13 Knauf Ecobatt sound batt insulation	27	LF	\$45	\$1,208	
Interior wall, 2x6@16"o.c., 5" Thermafiber SAFB, STC50, UL DES U327, 1HR rated	219	LF	\$62	\$13,523	
Interior wall, 2x6@16"o.c., R-13 Knauf Ecobatt sound batt insulation	390	LF	\$62	\$24,083	
Interior wall, 2x6@16"o.c., R-13 Knauf Ecobatt sound batt insulation w/ 2x flat stud fur wall	26	LF	\$92	\$2,379	
Interior wall, 2x6@16"o.c., R-13 Knauf Ecobatt sound batt insulation, (2)layers of gypsum ea side	53	LF	\$62	\$3,273	
Roof and Soffit Framing					
Supplemental roof joists at high roof, 24" o.c. 38' span	56	EA	\$860	\$48,160	
Supplemental roof joists at high roof, 32" o.c. 38' span	41	EA	\$702	\$28,782	
Roof framing	2,664	SF	\$14	\$37,962	
Stair Framing					
Wood stairs, 5 risers, 3'3wide, 1 landing 3'x3'3"	22	SF	\$125	\$2,750	
Structural Panels, Sheathing and Decking					
Floor sheathing	708	SF	\$7.10	\$5,027	
Roof sheathing at slope change and new roof	4,878	SF	\$3.90	\$19,024	
Wall sheathing	7,409	SF	\$2.30	\$17,041	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
07 00 00 THERMAL AND MOISTURE PROTECTION					\$176,807

Thermal Insulation					
Exterior wall batt insulation	6,168	SF	\$5.10	\$31,457	
Interior wall sound batt insulation	5,952	SF	\$3.90	\$23,213	
Floor sound batt insulation	5,902	SF	\$6.30	\$37,183	
Floor sound mat	5,902	SF	\$5.20	\$30,690	
Roof batt insulation	2,664	SF	\$7.00	\$18,648	
Closed-cell spray foam insulation at existing roof	5,088	SF	\$7.00	\$35,616	

07 40 00 ROOFING AND SIDING PANELS					\$137,745
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Shingle and Tile Roofing					
Raised concrete tile roof system o/ sloped TPO membrane roof	662	SF	\$31	\$20,357	
Membrane Roofing					
Membrane roofing, TPO, low slope, mulehide or equivalent	4,216	SF	\$13	\$52,700	
Wall Panels					
Exterior screen wall, shading fins	1,931	SF	\$34	\$64,689	

07 70 00 ROOFING SPECIALTIES AND ACCESSORIES					\$10,403
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Flashing and Coping					
Sheet metal flashing & counterflashing	1	LS	\$5,305	\$5,305	
Roofing Specialties					
Downspout	3	EA	\$702	\$2,106	
Gutter, 26ga	44	LF	\$68	\$2,992	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
08 10 00 DOORS AND FRAMES					\$150,845
Exterior Doors					
Single leaf door, 3' - 6"x7' - 0", hollow metal, type A, rated 45 MIN.	1	EA	\$5,285	\$5,285	
Single leaf door, 3' - 0"x8' - 0", hollow metal, type A, rated 45 MIN.	3	EA	\$5,825	\$17,475	
Double leaf door, 6' - 0"x8' - 0", hollow metal, type B, rated 45 MIN.	1	EA	\$9,405	\$9,405	
Single leaf door, 3' - 0"x6' - 8", hollow metal, type A, rated 45 MIN.	1	EA	\$5,105	\$5,105	
Interior Doors					
Double leaf door, 6' - 0"x7' - 0", hollow metal, type B	3	EA	\$3,320	\$9,960	
Single leaf door, 3' - 0"x6' - 8", hollow metal, type A	6	EA	\$2,195	\$13,170	
Single leaf door, 3' - 0"x6' - 8", hollow metal, type A, rated 45 MIN.	3	EA	\$2,195	\$6,585	
Single leaf door, 3' - 0"x7' - 0", hollow metal, type A	6	EA	\$2,255	\$13,530	
Single leaf door, 3' - 0"x8' - 0", hollow metal, type A, rated 45 MIN.	3	EA	\$2,425	\$7,275	
Double leaf door, 6' - 0"x7' - 0", hollow metal, type D, rated 45 MIN.	1	EA	\$3,365	\$3,365	
Double leaf door, 5' - 6"x8' - 0", hollow metal, type C	1	EA	\$3,235	\$3,235	
Specialty Doors					
Roll-up door, 12' - 0"x12' - 0", hollow metal, rated 60 MIN.	1	EA	\$5,905	\$5,905	
Specialty Door Hardware					
Door hardware package	30	EA	\$1,685	\$50,550	

08 40 00 ENTRANCES, STOREFRONTS AND CURTAIN WALLS					\$186,922
Entrances and Storefronts					
Aluminum storefront door, tempered glass, 4'-6"x10'-9", type D	1	EA	\$7,255	\$7,255	
Aluminum storefront, tempered glass, 17'-0"x10'-9", type WW1	1	EA	\$29,540	\$29,540	
Aluminum storefront, tempered glass, 17'-0"x10'-0", type WW2	1	EA	\$31,340	\$31,340	
Aluminum storefront, tempered glass, 10'-0"x8'-0", type WW3	1	EA	\$11,440	\$11,440	
Aluminum storefront, tempered glass, height varies, type WW4	1	EA	\$25,630	\$25,630	
Aluminum storefront, tempered glass, 5' - 4"x2' - 9", type WW5	1	EA	\$2,455	\$2,455	
Aluminum storefront, tempered glass, 10' - 8"x13' - 1", type WW6	2	EA	\$19,330	\$38,660	
Aluminum storefront, tempered glass, 10' - 8"x7' - 10", type WW7	2	EA	\$11,870	\$23,740	
Aluminum storefront, interior, 5' - 0"x5' - 0", type INT. 1	2	EA	\$3,375	\$6,750	
Aluminum storefront, interior, 4' - 0"x5' - 0", type INT. 2	2	EA	\$2,785	\$5,570	
Aluminum storefront, interior, 0' - 10"x0' - 10", type INT. 3	3	EA	\$794	\$2,382	
Aluminum storefront, interior, 5' - 0"x3' - 0", type INT. 4	1	EA	\$2,160	\$2,160	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
08 50 00 WINDOWS					\$3,240

Metal Windows					
Historic ticket window, to be preserved	1	EA			
Existing, protect in place	3	EA			
Existing, protect in place	1	EA			
Fixed aluminum window, tempered glass, 5'-0"x10'-0", type A	1	EA	\$1,340	\$1,340	
Fixed aluminum window, tempered glass, 1'-8"x10'-0", type B	1	EA	\$625	\$625	
Fixed aluminum window, 3'-0"x6'-0", type C	1	EA	\$651	\$651	
Fixed aluminum window, tempered glass, 2'-0"x8'-0", type E	1	EA	\$624	\$624	

09 20 00 LATH AND PLASTER					\$141,248
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Cement Plastering					
3-Layer cement plaster w/ fiberglass mesh	8,828	SF	\$16	\$141,248	

09 29 00 GYPSUM BOARD					\$95,192
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Gypsum board panels					
5/8" Gypsum board at interior walls, level 4 finish	23,328	SF	\$3.20	\$74,650	
(2) layers of 5/8" gypsum board at ceiling, hard lid, type X	57	SF	\$6.50	\$371	
5/8" gypsum board at ceiling, hard lid, type X	4,920	SF	\$4.10	\$20,172	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
09 30 00 TILING					\$82,544
Tile Backing Board and Underlayment					
1/2" Backerboard at wall tile	2,472	SF	\$5.00	\$12,360	
Anti-fracture membrane and moisture barrier	943	SF	\$1.20	\$1,132	
Ceramic and Porcelain Tiling					
T-1, 12x12 tile	114	SF	\$15	\$1,739	
T-2, 12x12 tile	190	SF	\$15	\$2,898	
T-3, 2" tile matte	50	SF	\$15	\$725	
T-4, 24x24 tile	589	SF	\$14	\$7,952	
S-2, daltile, no size spec'd	492	SF	\$21	\$10,332	
S-3, daltile, no size spec'd	288	SF	\$21	\$6,048	
S-4, daltile, 12x12 matte	180	SF	\$22	\$3,915	
S-5, daltile, 4x4	834	SF	\$21	\$17,514	
S-6, daltile, 3x6	678	SF	\$21	\$14,238	
B-2, daltile, 6x12 covebase	187	LF	\$20	\$3,693	

09 50 00 CEILINGS					\$136,494
Acoustical Ceiling Assemblies					
Arktura Vaporsoft Cora ceiling panel w/ backlighting, t-grid system	112	SF	\$23	\$2,604	
Arktura Vaporsoft Cora ceiling panel w/ soft sound acoustic backer, t-grid system, 12mm thick 150mm air gap, NRC	1,115	SF	\$17	\$18,676	
Decoustics Claro Finish acoustic ceiling, 2x4 panels, matte black finish, running bond finish, 1-1/6" thick, NRC 0.9	3,357	SF	\$29	\$97,353	
Heavy duty T-bar ceiling, 2x2, see 11,12,24/ A5.10	464	SF	\$13	\$6,148	
Specialty Ceilings					
Tongue-and-groove wood soffit	291	SF	\$40	\$11,713	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
09 60 00 FLOORING					\$160,496
Specialty Flooring					
M-1, terrazzo, match existing	296	SF	\$68	\$20,128	
B-3, terrazzo, match existing	113	LF	\$38	\$4,294	
F-1, stagestep, springstep IV floating wood subfloor	922	SF	\$18	\$16,827	
F-2, Interface, step this way, 106325 ebony, monolithic	1,153	SF	\$22	\$25,654	
F-3, coretec lvp, charter oak	4,205	SF	\$14	\$59,921	
Resilient Floor Base					
B-1, burke mercer flooring, rubber baseboard, paint color of wall	485	LF	\$6.10	\$2,960	
Fluid Applied Flooring					
F-4, epoxy, sealed concrete	1,890	SF	\$16	\$30,713	

09 70 00 WALL PANELS					\$34,394
Wall Coverings					
Decoustics wall panel	402	SF	\$41	\$16,281	
S-1, art deco wallpaper	1,610	SF	\$11	\$18,113	

09 90 00 PAINTING AND COATING					\$86,880
Exterior and Interior Painting					
Painting package	1	LS	\$86,880	\$86,880	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
10 00 00 SPECIALTIES					\$116,299
Restroom Accessories					
Restroom accessory package, including:	1	LS	\$11,130	\$11,130	
Changing station	3	EA			
Grab bar, 36	6	EA			
Grab bar, 42	6	EA			
Hand dryer	3	EA			
Metal Display Case per 34/ A5.04	2	EA			
Mirror, 24x26	6	EA			
Partition, urinal	2	EA			
Sanitary napkin disposal	5	EA			
Soap dispenser	7	EA			
Stall, ADA	4	EA			
Stall, standard	3	EA			
Toilet paper dispenser double	9	EA			
Toilet seat cover dispenser	8	EA			
Waste receptacle/ paper towel dispenser combo, recessed	6	EA			
Partitions					
Folding partition wall, 28'-0"x9'-6" w/ man door, type F	27	LF	\$542	\$14,634	
Signage					
Restroom door signage	6	EA	\$174	\$1,044	
Raised lettering signage "Guadalupe Visual and Performing Arts Center"	1	EA	\$8,095	\$8,095	
Signage package	13	EA	\$202	\$2,626	
Restore existing marque	1	LS	\$75,000	\$75,000	
Miscellaneous Specialties					
Fire extinguisher, recessed	10	EA	\$377	\$3,770	
12 00 00 FURNISHINGS					\$122,553
Cabinets and Casework					
Concessions counter at lobby and entry	28	LF	\$650	\$18,200	
Stainless steel countertop, built-in	21	LF	\$315	\$6,615	
Dressing room countertop	10	LF	\$217	\$2,062	
Other Furnishing					
Restore and reinstall theater chairs	204	EA	\$469	\$95,676	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
14 00 00 CONVEYING SYSTEMS					\$218,970

Elevators					
Traction elevator, 3 stop	1	EA	\$170,350	\$170,350	
Lifts					
ADA chair lift	1	EA	\$13,690	\$13,690	
Dumb waiter, 500 lb capacity	1	EA	\$34,930	\$34,930	

21 00 00 FIRE SUPPRESSION					\$191,050
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Sprinkler System					
Install new fire sprinkler system	13,407	SF	\$14	\$191,050	

22 00 00 PLUMBING					\$246,354
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Plumbing Piping Distribution					
Water distribution	553	LF	\$59	\$32,627	
Plumbing grease waste line	63	LF	\$83	\$5,198	
Plumbing vent line	331	LF	\$51	\$16,798	
Plumbing waste line	269	LF	\$95	\$25,622	
Clean out	10	EA	\$299	\$2,990	
Floor drain	9	EA	\$1,440	\$12,960	
Rainwater Drainage					
Primary and overflow drains, Zurn Z165 or equiv	4	EA	\$1,930	\$7,720	
Storm line distribution	364	LF	\$49	\$17,836	
Plumbing Equipment					
Electric water heater, 17 gal. capacity	1	EA	\$10,330	\$10,330	
Hood vent ANSUL fire suppression system	1	EA	\$9,850	\$9,850	
Incinerator "Evolution Compact" disposer	1	EA	\$3,770	\$3,770	
Instant gas water heater	1	EA	\$836	\$836	
Zurn #375XL backflow preventer	3	EA	\$4,125	\$12,375	
Gas meter	1	EA	\$1,480	\$1,480	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
Plumbing Fixtures					
Floor sink	6	EA	\$917	\$5,502	
ADA Water closet	6	EA	\$1,335	\$8,010	
Dual height drinking fountain	1	EA	\$1,140	\$1,140	
Mop sink	1	EA	\$1,515	\$1,515	
Urinal	3	EA	\$1,225	\$3,675	
Wall mounted lavatory	7	EA	\$1,355	\$9,485	
Water closet	3	EA	\$1,185	\$3,555	
Plumbing fixture rough-ins	27	EA	\$1,440	\$38,880	
Testing and Commissioning					
Test, purge, and sterilize	1	LS	\$4,700	\$4,700	
Sub-contractor commissioning	1	LS	\$9,500	\$9,500	

23 00 00 HVAC **\$425,945**

Mechanical Distribution and Controls					
Ducting general distribution	6,251	SF	\$16	\$100,016	
Grease duct, 9" diameter	30	LF	\$16	\$465	
Refrigerant and condensate piping	6,251	SF	\$3.50	\$21,879	
Registers, grilles, dampers	6,251	SF	\$3.40	\$21,253	
Duct smoke detector	5	EA	\$897	\$4,485	
Thermostat	13	EA	\$897	\$11,661	
CO2 Sensor	1	EA	\$897	\$897	
S&P filter box and backdraft damper	2	EA	\$3,160	\$6,320	
18" Sq. access panel	1	EA	\$213	\$213	
Access panel	4	EA	\$213	\$852	
4'x6' Roof vents	2	EA	\$5,855	\$11,710	
Mechanical Equipment					
Gas heating, electric cooling packaged unit, 15 tons	1	EA	\$37,560	\$37,560	
Gas heating, electric cooling packaged unit, 5 tons	1	EA	\$18,640	\$18,640	
Gas heating, electric cooling packaged unit, 3 tons	1	EA	\$11,190	\$11,190	
Economizer and power exhaust, 5,200 CFM, centrifugal type, 315 lb	1	EA	\$19,110	\$19,110	
Exhaust fans	13	EA	\$1,070	\$13,910	
Fan coils	12	EA	\$6,460	\$77,520	
Heat recovery condensing unit	2	EA	\$14,670	\$29,340	
Intake hood	6	EA	\$334	\$2,004	
Kitchen exhaust hood, 80 inches, 800 CFM, 175 lbs	1	EA	\$12,420	\$12,420	
Testing and Commissioning					
Testing and balancing	1	LS	\$8,100	\$8,100	
Sub-contractor commissioning	1	LS	\$16,400	\$16,400	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
26 00 00 ELECTRICAL					\$766,261

Power and Distribution					
Distribution panel, 1,000A, 3-phase, 4 wire, NEMA 1 enclosure, 65KAIC	1	EA	\$33,610	\$33,610	
Pad mounted switchgear, 1,000 A, 3-phase, 4 wire, NEMA 3R enclosure, 65KAIC	1	EA	\$100,850	\$100,850	
Underground pull section to MSB	1	EA	\$5,165	\$5,165	
MSB meter section and 1,000A meter socket	1	EA	\$3,450	\$3,450	
Disconnect switch, 100AFS/FF70A	1	EA	\$933	\$933	
Power and equipment feeders	1	LS	\$52,000	\$52,000	
Panel breaker, 100A 3P	2	EA	\$5,105	\$10,210	
Panel breaker, 160A 3P	1	EA	\$6,600	\$6,600	
Panel breaker, 200A 3P	1	EA	\$9,100	\$9,100	
Panel breaker, 250A 3P	1	EA	\$10,420	\$10,420	
Panel breaker, 400A 3P	1	EA	\$13,230	\$13,230	
Panel breaker, 50A 3P	1	EA	\$4,855	\$4,855	
Emergency lighting inverter, 750VA/750W, 120V	2	EA	\$44,230	\$88,460	
Shunt trip	1	EA	\$4,100	\$4,100	
Surge protection device, 1,000A	1	EA	\$3,600	\$3,600	
Add new breaker, 200A 3P	1	EA	\$404	\$404	
Add new breaker, 20A 1P	1	EA	\$164	\$164	
Add new breaker, 25A 1P	1	EA	\$171	\$171	
Add new breaker, 400A 3P	1	EA	\$664	\$664	
lighting control panel	2	EA	\$3,005	\$6,010	
General Distribution					
Electrical devices, general distribution, lighting controls	13,407	SF	\$13	\$174,291	
Lighting Fixtures					
Lighting package	13,407	SF	\$18	\$237,974	

General distribution expense includes pathways for audio, video, and security devices.

Lighting package includes exterior lighting and exterior lighting distribution.

28 00 00 FIRE SAFETY AND SECURITY					\$144,796
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Fire and Safety System					
Fire alarm system	13,407	SF	\$6.30	\$84,464	
Security					
Security alarm and camera system	13,407	SF	\$4.50	\$60,332	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
31 20 00 EARTHWORK AND GRADING					\$99,462
Equipment Mobilization					
Mobilize and demobilize equipment		1 LS	\$4,800	\$4,800	
Earth Clearing and Grading					
Rough grading	19,338	SF	\$0.67	\$12,956	
Finish grading	19,338	SF	\$0.97	\$18,758	
Excavation and Fill					
Cut & fill operations	860	CY	\$37	\$31,820	
Import native fill	210	LCY	\$43	\$8,978	
Import and placement of class II base	179	CY	\$124	\$22,150	

31 25 00 EROSION AND SEDIMENTATION CONTROLS					\$7,800
Sedimentation Controls					
Install, maintain, and remove SWPPP measures around campgrounds		1 LS	\$7,800	\$7,800	

32 12 00 FLEXIBLE PAVING					\$25,625
Asphalt Paving					
Asphalt patch-back, 24" wide	58	SF	\$26	\$1,523	
Gravel Surfacing					
Gravel surfacing	5,356	SF	\$4.50	\$24,102	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
32 13 00 RIGID PAVING					\$153,998

Concrete Paving					
6' wide concrete v-gutter	423	SF	\$18	\$7,614	
Concrete driveway	255	SF	\$20	\$5,100	
Concrete paving	4,092	SF	\$15	\$61,380	
Concrete stairs	30	SF	\$90	\$2,708	
Concrete vehicular paving	1,500	SF	\$17	\$25,125	
Trash enclosure with apron	226	SF	\$29	\$6,441	
Unit Pavers					
Concrete unit pavers	1,560	SF	\$29	\$45,630	

32 16 00 CURBS AND GUTTERS					\$23,613
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Concrete Curbs					
Concrete curb, 6" wide	344	LF	\$38	\$13,158	
Containment curb	203	LF	\$52	\$10,455	

32 17 00 PAVING SPECIALTIES					\$27,378
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Parking Bumpers					
Wheel stop	4	EA	\$93	\$372	
Concrete filled bollard	29	EA	\$778	\$22,562	
Markings and Signage					
Signage, ADA	1	EA	\$413	\$413	
Signage, address	1	EA	\$413	\$413	
Signage, No Parking	2	EA	\$413	\$826	
Striping	430	LF	\$1.70	\$731	
Striping, handicap symbol	2	EA	\$85	\$171	
Striping, Lettering	5	EA	\$27	\$136	
Paint curbs	144	LF	\$5.50	\$792	
Tactile Warning					
Truncated domes	25	SF	\$39	\$963	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
32 30 00 SITE IMPROVEMENTS					\$62,834
Site Furnishing					
8' Concrete bench	3	EA	\$1,655	\$4,965	
Bike rack	1	EA	\$674	\$674	
Round planter	3	EA	\$5,385	\$16,155	
Trash receptacles	2	EA	\$1,125	\$2,250	
Accent wall	1	EA	\$5,000	\$5,000	
Mural wall	2	EA	\$10,000	\$20,000	
Site Structures					
Trash enclosure, 11'9"x11'6", double gate + single door	1	EA	\$13,790	\$13,790	

32 31 00 FENCES AND GATES					\$24,183
Metal Fence					
Handrail	11	LF	\$93	\$1,023	
Controlled access gate, 10' wide	1	EA	\$16,920	\$16,920	
Rolling gate and tracks, 6' wide	1	EA	\$6,240	\$6,240	

32 32 00 RETAINING WALLS					\$403,239
Concrete Retaining Wall					
Concrete curved seat walls	168	LF	\$326	\$54,768	
Retaining wall	511	LF	\$430	\$219,730	
Retaining wall, 6' tall	41	LF	\$430	\$17,630	
Concrete Retaining Wall					
Retaining wall, Breeze block wall	273	LF	\$407	\$111,111	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
32 80 00 IRRIGATION					\$17,457

Drip and Sprinkler Irrigation					
Drip irrigation	4,594	SF	\$3.80	\$17,457	

32 90 00 PLANTING					\$89,537
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Planting Preparation					
Tree pit preparation	9	EA	\$362	\$3,258	
Planting bed preparation	4,594	SF	\$4.80	\$22,051	
Tree planting					
36" Box tree	6	EA	\$1,145	\$6,870	
15 Gallon tree	3	EA	\$435	\$1,305	
Shrubs, Perennials, Annuals					
Irrigated planter bed	385	SF	\$2.60	\$1,001	
Planter bed	3,439	SF	\$1.80	\$6,190	
Vegetated swale	501	SF	\$2.30	\$1,152	
Landscaped area	269	SF	\$1.80	\$484	
Landscape Accessories & Maintenance					
2' Boulder	22	EA	\$1,210	\$26,620	
3' Boulder	13	EA	\$1,585	\$20,605	

33 10 00 WATER UTILITIES					\$79,080
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Water Distribution					
Connect to existing system	1	LS	\$12,500	\$12,500	
2" Water line	187	LF	\$79	\$14,726	
4" Fire lateral line	224	LF	\$122	\$27,328	
1" Irrigation water meter	1	EA	\$931	\$931	
2" water meter	1	EA	\$2,570	\$2,570	
Double detector check backflow, 4" size	1	EA	\$4,125	\$4,125	
Reduced pressure backflow, 4" size	2	EA	\$8,450	\$16,900	

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
33 30 00 SANITARY SEWERAGE UTILITIES					\$467,558

Sanitary Sewer Piping					
Connect to existing system	1	LS	\$15,000	\$15,000	
4" PVC SDR 35 sewer line	256	LF	\$168	\$43,008	
5'6"x4' valve box, 5' deep	1	EA	\$2,840	\$2,840	
Grease interceptor	1	EA	\$48,100	\$48,100	
Sanitary sewer manhole	1	EA	\$16,010	\$16,010	
Sanitary Sewer Assemblies					
Sanitary sewer pump lift station, 15' deep	1	LS	\$342,600	\$342,600	

33 40 00 STORM DRAIN					\$172,420
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Stormwater Conveyance					
4" PVC SDR 35 storm drain pipe	20	LF	\$35	\$705	
6" PVC SDR 35 storm drain pipe	485	LF	\$40	\$19,279	
Trench drain	47	LF	\$258	\$12,126	
Trench drain, slot drain 9000 series	60	LF	\$258	\$15,480	
12" Drop inlet	1	EA	\$6,320	\$6,320	
Area drain	18	EA	\$1,580	\$28,440	
Stormwater Management					
Stormtech MC-3500 infiltration chamber	1	EA	\$90,070	\$90,070	

33 50 00 FUEL DISTRIBUTION UTILITIES					\$32,924
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Fuel Distribution					
Connection to existing system	1	LS	\$12,500	\$12,500	
Gas line	184	LF	\$111	\$20,424	

BID OPTIONS

Guadalupe Royal Theater
Bid Set Cost Estimate

SCOPE OF WORK	QTY	UNIT	UNIT PRICE	LINE COST	TOTAL
BID OPTIONS					
Kitchen equipment and Furnishings					\$390,000
Allowance: Kitchen appliances	1	LS	\$75,000	\$75,000	
Allowance: Kitchen furnishings and working counters	1	LS	\$40,000	\$40,000	
Audio, Visual, and Stage Lighting					\$275,000
Allowance: Audio and visual package	1	LS	\$125,000	\$125,000	
Allowance: Stage lighting package	1	LS	\$150,000	\$150,000	
Allowance: Repair URM cracks and repoint grout					
URM Crack Repair					\$155,000
Allowance: Repair URM cracks and repoint grout	1	LS	\$155,000	\$155,000	

BID OPTIONS DIRECT COST					\$820,000
General Requirements				8.0%	\$65,600
Bonding & Insurance				2.5%	\$20,500
Contractor Fee (OH&P)				12.0%	\$98,400
CONSTRUCTION COST SUBTOTAL					\$1,004,500
Design Contingency				5.0%	\$50,225
Construction Contingency				6.0%	\$60,270
Escalation to Midpoint of Construction				6.7%	\$67,302
TOTAL BID OPTIONS BUDGET					\$1,182,297

APPENDIX

APPENDIX

PLANNING BASIS

Method of Procurement:	This estimate is based on a lump-sum, low-bid method of procurement. The estimate assumes that the Project will be competitively bid, with a minimum of 4-5 qualified bidding contractors.
Wage Determination:	This cost estimate has been prepared with the understanding that all work performed on site will be subject to Davis-Bacon prevailing wage rates.

COST BASIS

Sources for Pricing:	This estimate has been prepared by Precision's team of qualified cost consultants, who are experienced in estimating construction costs at each design milestone. These cost consultants have used pricing data from Precision's database(s) for construction, updated to reflect current conditions specific to the Project location.
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MARKUP BASIS

State & Local Taxes:	Applicable State, County, City & Special Taxes included within each line item.
Bonds & Insurance:	Bond premium assumed at 2% and insurance assumed at 0.5%
General Contractor Fee:	Includes both overhead & profit.
Design Contingency:	Per AACE standards, the recommended Design Contingency is based on the stage of design development.
Construction Contingency:	Recommended allowance based on size, scope, and complexity of project.
Escalation to Midpoint of Construction:	Based on a construction start date of May-2025 and a midpoint of construction in Oct'2025

ESTIMATE STRUCTURE

Basis for Unit Costs:	Unit costs as contained herein are based on current bid prices with respect to the geographical region of the Project. Subcontractor mark-ups for overhead and profit are included in each line item unit cost. These mark-ups cover each subcontractor's costs for labor, burden, materials, equipment, sales taxes, field overhead, home office overhead, and profit. The general contractor's overhead and profit is broken out separately in this report.
Contingency:	Contingency represents the recommended amount to be added to an estimate to allow for uncertainty and to mitigate risk within a project. The AACE recommends holding a contingency in most estimates, with the expectation that the contingency allowance will be expended. Items included within contingency consist of minor price fluctuations (outside of general escalation), development of the design and changes within the scope, as well as field changes.
Design Contingency:	An allowance for undeveloped design details and potential design changes.
Construction Contingency:	It is standard practice for contractors to mitigate risk by accounting for unintentional bid errors and omissions by including a contingency factor within line item prices. Construction Contingency is a necessary element to this cost estimate as it (in conjunction with the direct costs and other mark-ups referenced herein) will be factored into contractor pricing and increase bid amounts.
Escalation:	All subcontract prices are reflective of current bid prices within the geographical region of the Project. As an additional markup, escalation has been included to account for natural price increases over time.
General Requirements:	Required project costs that cannot be directly attributed to any single element of the Project. General Requirements are not standardized within the construction industry. As a result, line items carried within this construction division can vary from contractor to contractor. Common examples include project management & site supervision; material testing; temporary utilities (water, power, lighting); temporary office trailers, restrooms, & site fencing; temporary job support equipment (generators, cranes, scaffolding, trench plates); as well as site cleanup.

ESTIMATING STANDARDS

Association for the Advancement of Cost Engineers International (AACE):	Precision relies on the code of ethics and standards set forth by the AACE for recommended best practices.
American Society of Professional Estimators (ASPE):	Precision relies on the code of ethics and standards set forth by the ASPE for recommended best practices.

City of Guadalupe Royal Theater

PRESERVATION AND ADDITION FOR PERFORMING ARTS CENTER



TEAM:

ARCHITECTURE - ANDREW GOODWIN DESIGNS

STRUCTURAL – T&S ENGINEERS

CIVIL – WALSH ENGINEERING

LANDSCAPE – KTUA

ELECTRICAL – GECE

MECH/PLUMBING – 3C ENGINEERING

HISTORIC – CHATTEL INC.

AUDIO/ACOUSTICS – WAVEGUIDE LLC and BGA

FIRE – COLLINGS & ASSOCIATES

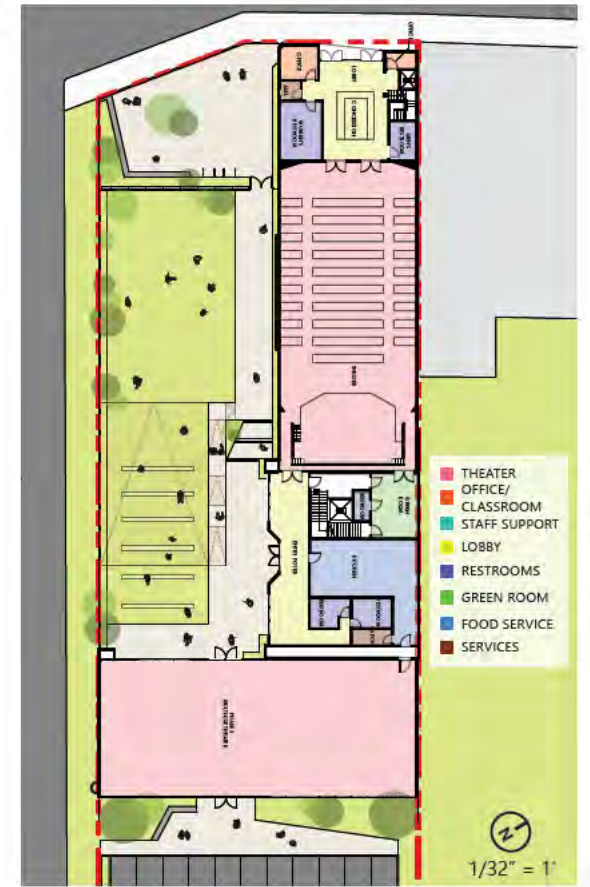


BEGINNING – EARLY 2020

ASKED TO PROVIDE PRO-BONO DESIGN SERVICES FOR POTENTIAL EXPANSION OF ROYAL THEATER WITH NEW DEVELOPMENT TEAM.



FLOOR PLAN
FIRST FLOOR



ABOVE: EARLY RENDERINGS
RIGHT: PLANS OF PHASING OF PROJECT

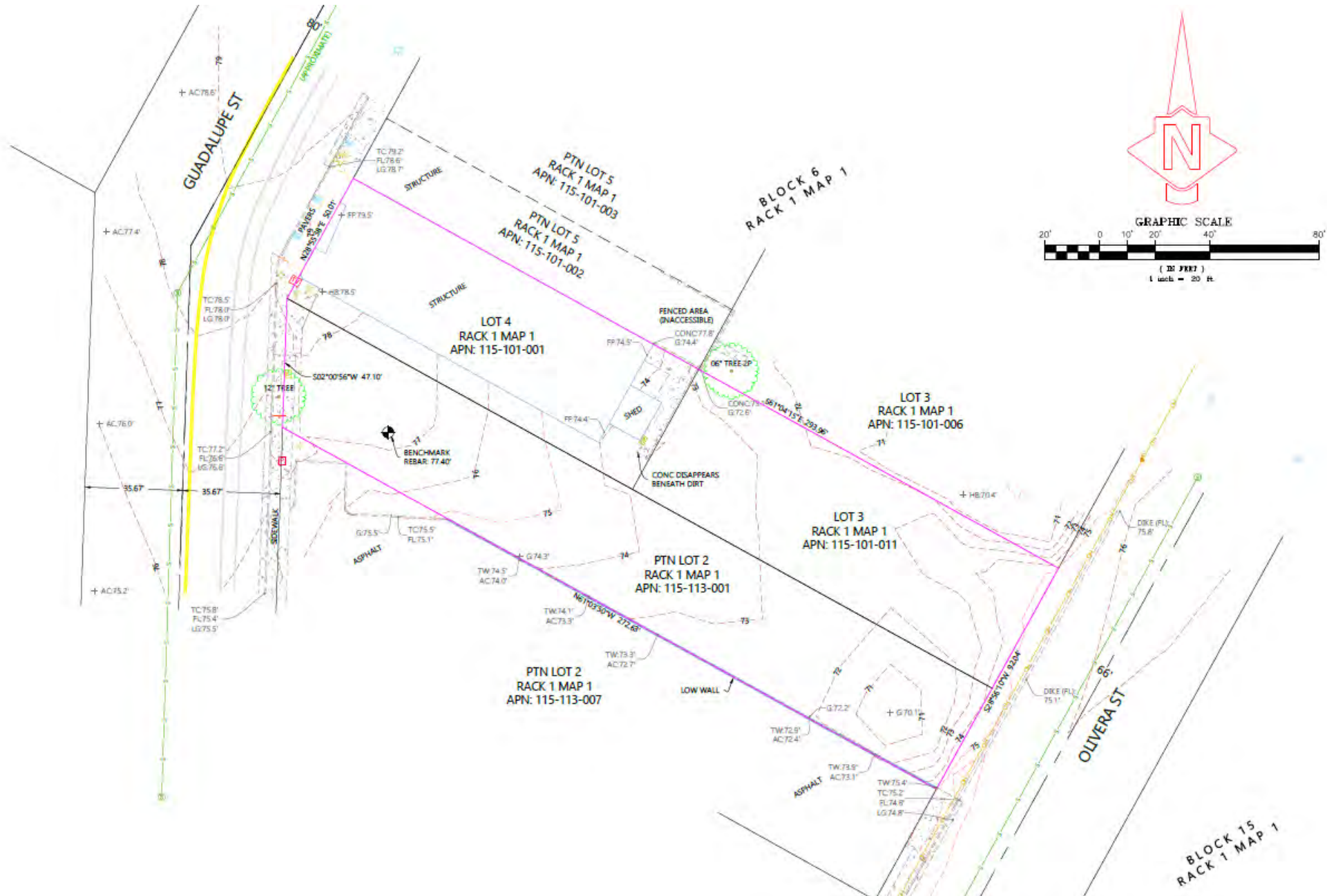
AUGUST SITE VISIT – EXISTING BUILDING CONDITION



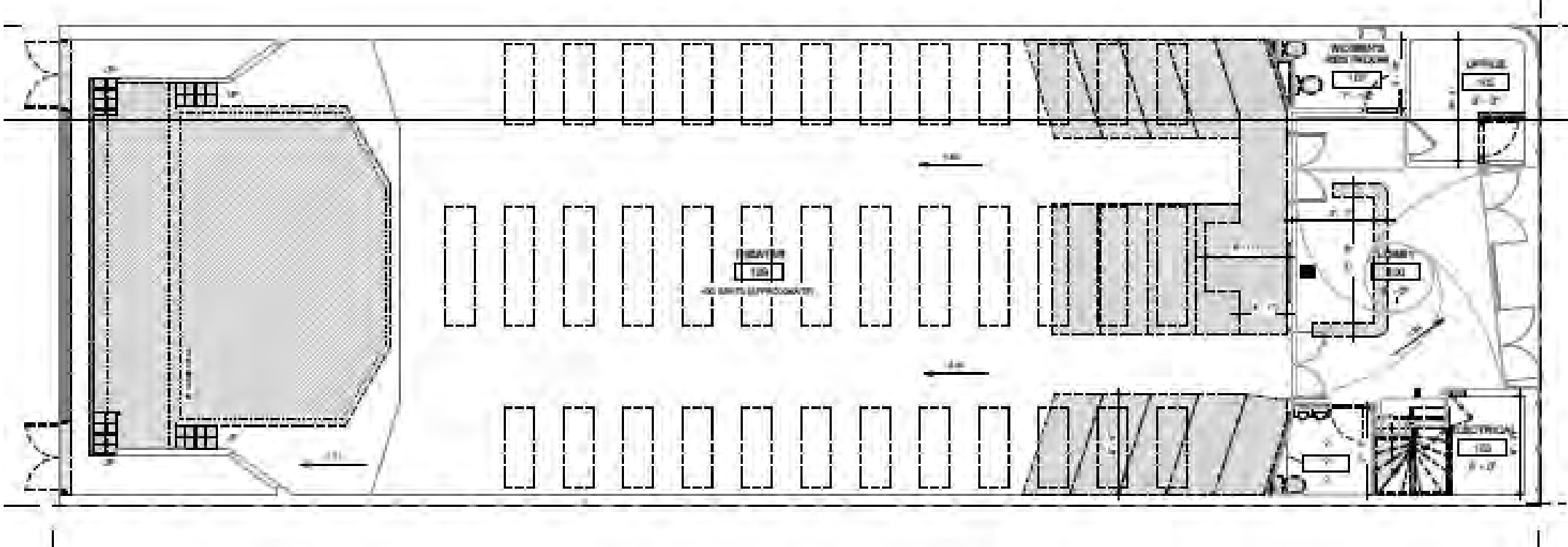
AUGUST SITE VISIT – EXISTING BUILDING CONDITION



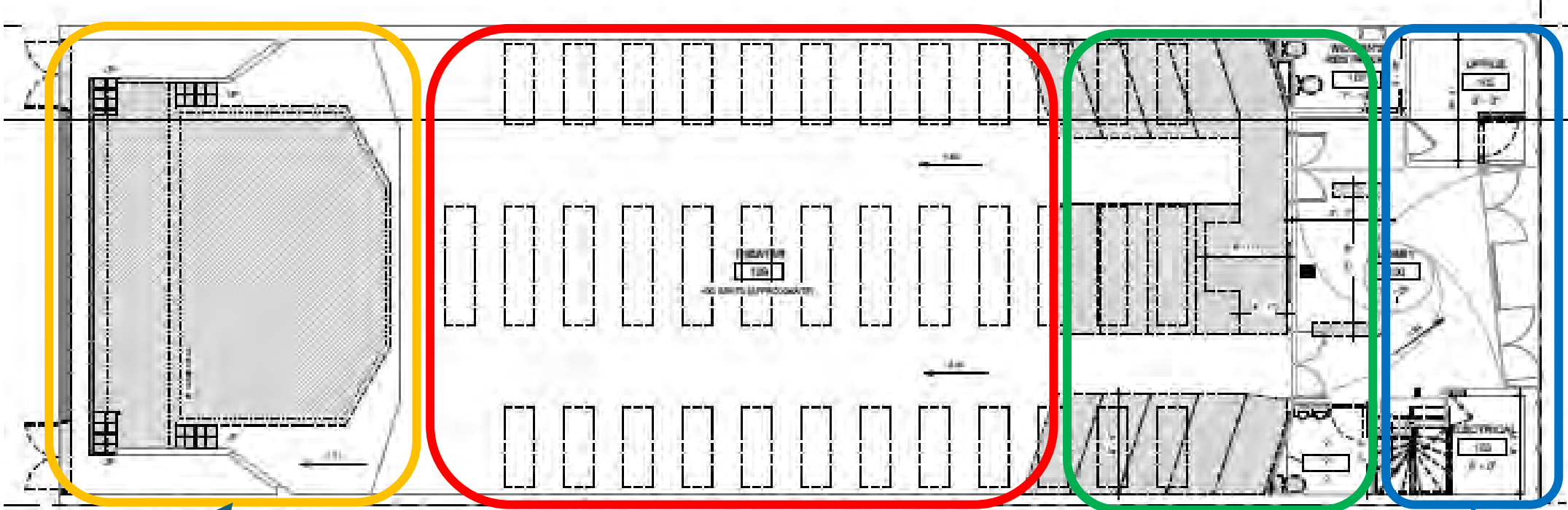
TOPOGRAPHIC SURVEY – EXISTING CONDITION



EXISTING PLAN



EXISTING PLAN



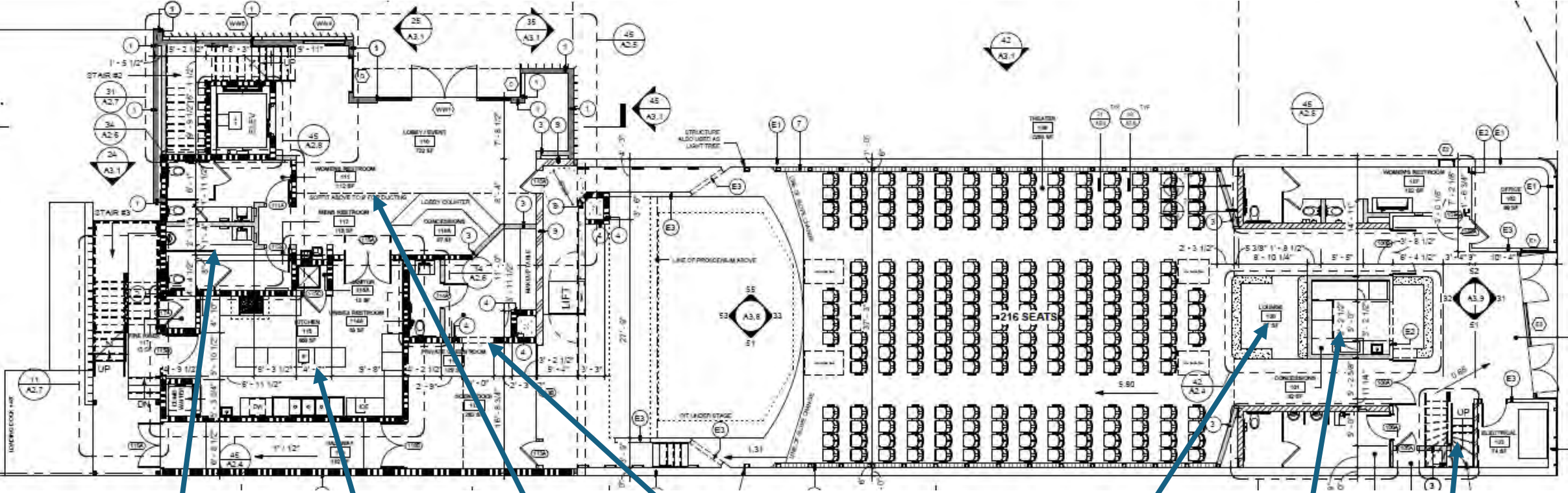
REPAIR STAGE FOR MORE FLEXIBILITY OF PERFORMANCES

REFURBISH SEATING AND ALLOW 200-220 SEAT AUDIENCES

NEW ADA RESTROOMS AND CONCESSIONS.

RESTORE FAÇADE AND PRESERVE ENTRY LOBBY FLOORING

NEW FIRST FLOOR PLAN



NEW RESTROOMS

NEW COMMERCIAL
KITCHEN

SECONDARY LOBBY

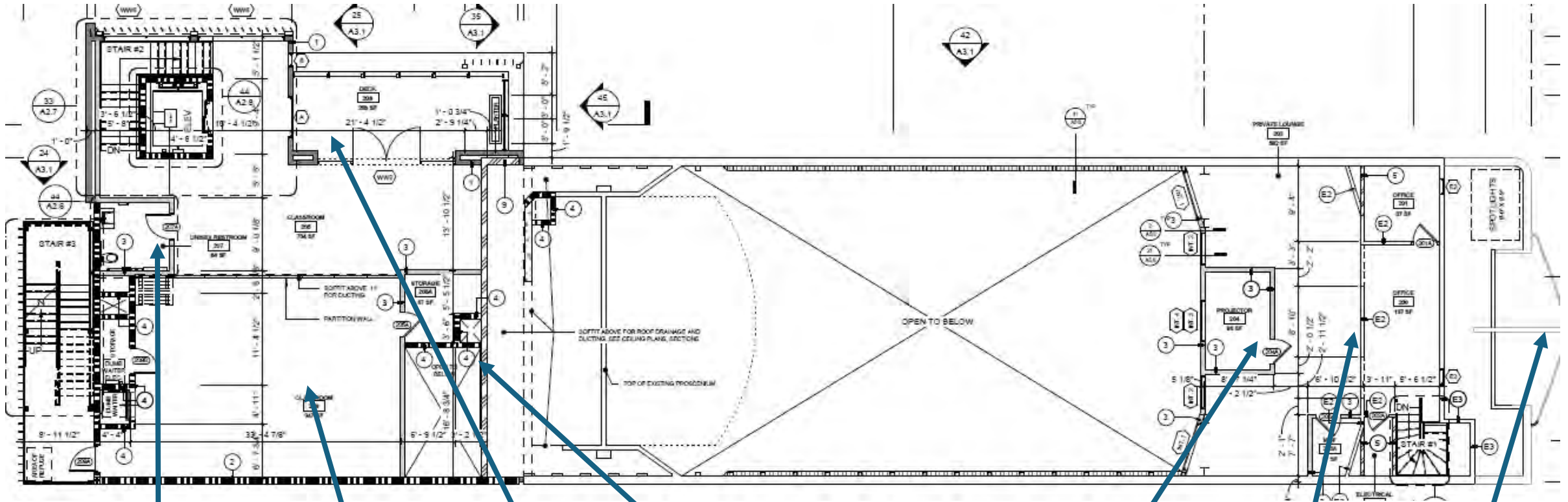
GREEN ROOM/
BACKSTAGE

LOUNGE

CONCESSIONS

NEW STAIR

NEW SECOND FLOOR PLAN



NEW RESTROOM

NEW CLASSROOM
FLEX SPACE

OUTDOOR DECK

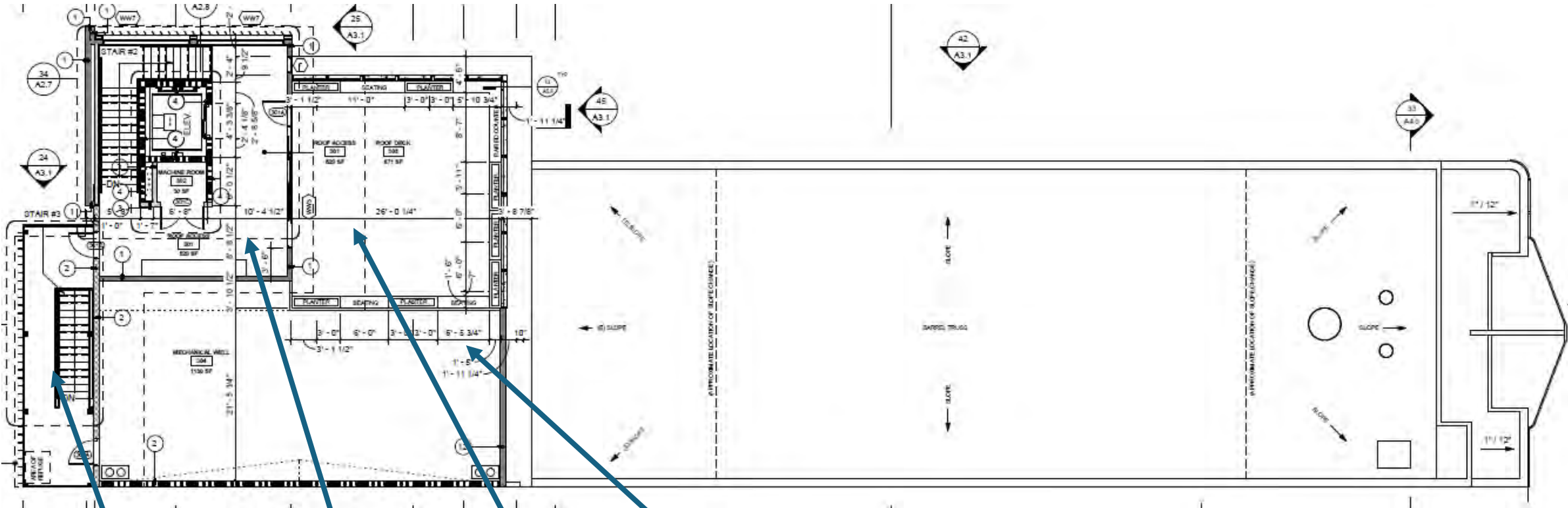
DOUBLE HEIGHT
BACKSTAGE

PROJECTOR
ROOM

FLEX OFFICE
SPACE

REFURBISH
MARQUEE

NEW THIRD FLOOR PLAN



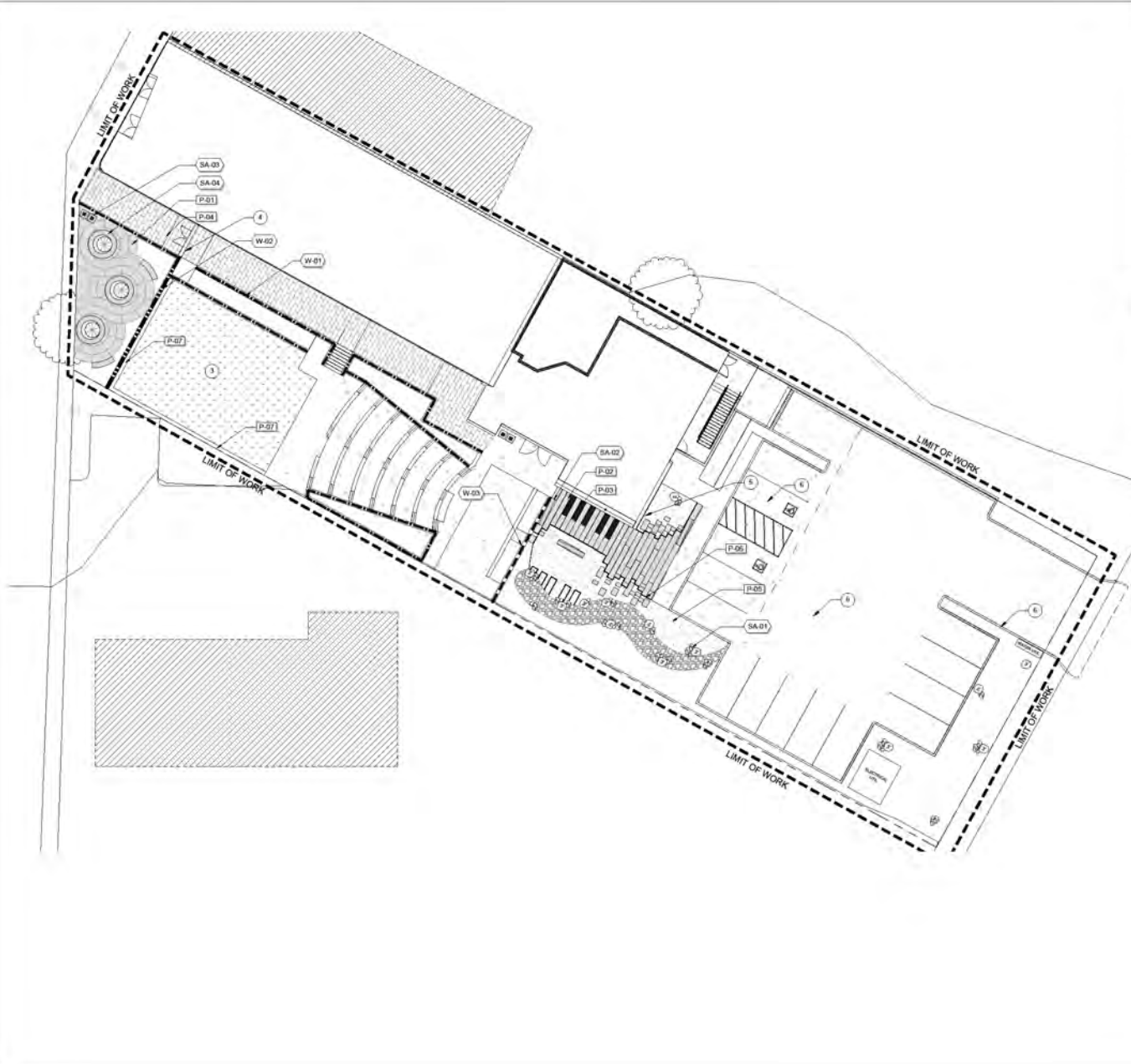
ESCAPE STAIR

INTERIOR FLEX SPACE

OUTDOOR ROOF DECK

MECHANICAL ROOF DECK

SITE PLAN



LEGEND		
SYMBOL	DESCRIPTION	DETAIL
(P-01)	COLOR CONCRETE	X/1/2 X 0
(P-02)	PAVER TYPE 1	
(P-03)	PAVER TYPE 2	
(P-04)	PERMEABLE PAVERS	
(P-05)	STAIR/ROSDG	
(P-06)	ALUMINUM EDGING	
(P-07)	CONCRETE MOW CURB	
(SA-01)	1.2, 3 BOULDERS	
(SA-02)	SEAR BENCH	
(SA-03)	LITTER RECEPTACLES	
(SA-04)	PLANTER	
(W-01)	DECORATIVE SITE WALL	
(W-02)	MURAL WALL	
(W-03)	ACCENT WALL	
KEYNOTES (SPECIFIC TO SHEET)		
SYMBOL	DESCRIPTION	
(1)	WATER FILTRATION BASIN	
(2)	TRANSFORMER PER ELECTRICAL ENGINEER	
(3)	LAWN, SEE LANDSCAPE SHEETS	
(4)	CONTROLLED ACCESS GATE BY ARCHITECT	
(5)	POTENTIAL MURAL LOCATION, TO COORDINATE WITH PLANTING	
(6)	PARKING LOT, CURBS, RAMPS & STORMWATER INFRASTRUCTURE PER CIVIL	
(7)		
(8)		
(9)		
(10)		



ANDREW GOODWIN DESIGN
 2002 PARKER ST. UNIT #
 SAN LUIS OBISPO, CA 93401
 P 805 438-1111
 www.andregoodwin.com



3916 Renard Street
 San Diego, CA 92104
 619.241.8477 www.ktua.com

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 of Professional Engineers
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REVISIONS

SEAL

NOT FOR CONSTRUCTION

PROJECT
 ROYAL THEATER
 140 CA-1
 CLANDIA ST. CA 92004
 619-115-1010
 115-101-011
 115-115-011

CLIENT
 CLIENT

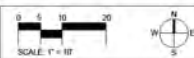
SHEET TITLE
 LANDSCAPE PLAN

DATE: 10/20/2021

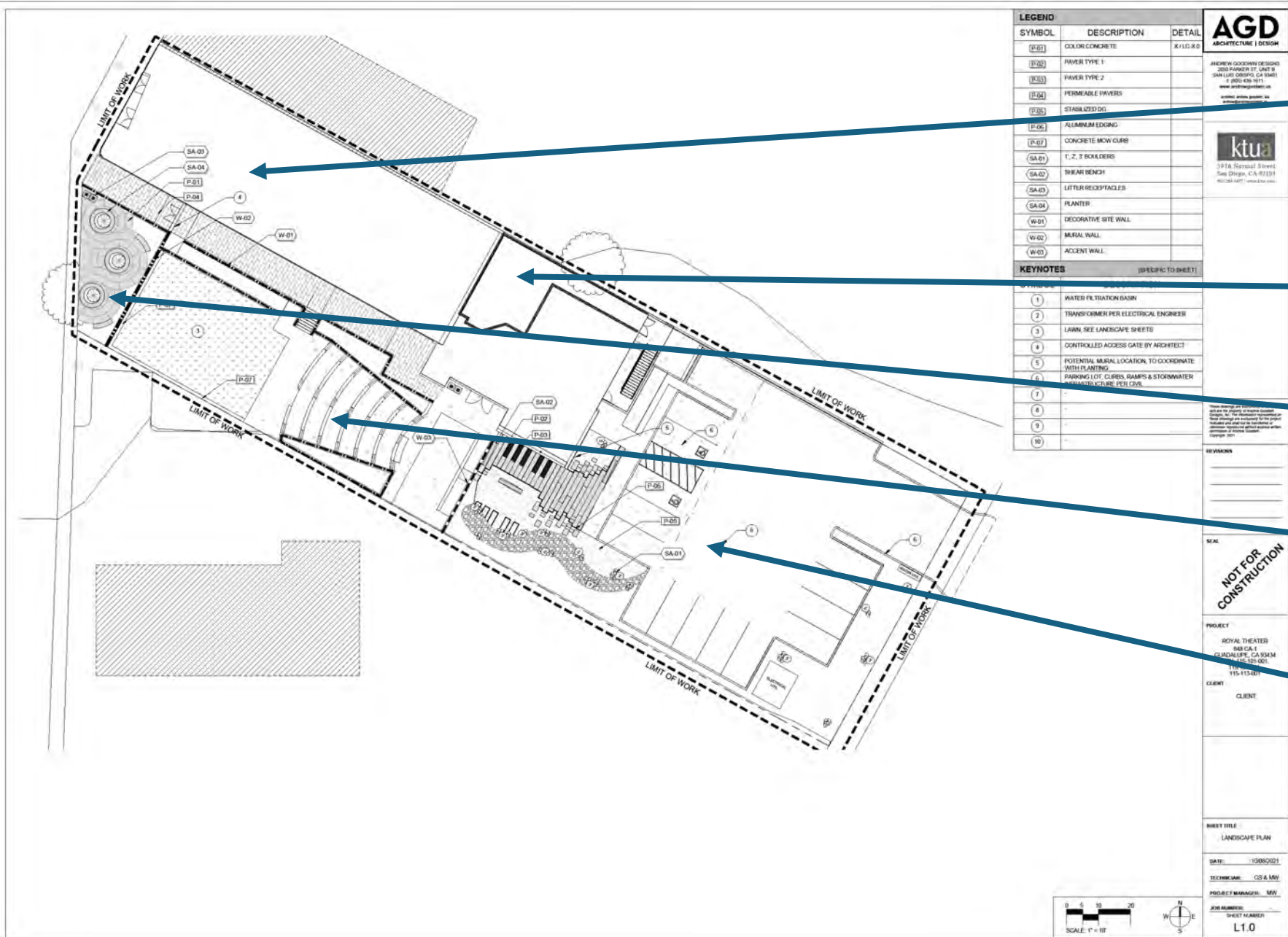
TECHNICAL: GS & MW

PROJECT MANAGER: MW

JOB NUMBER:
 SHEET NUMBER:
L1.0



NEW SITE PLAN



EXISTING ROYAL THEATER

NEW ADDITION

PUBLIC PLAZA

AMPHITHEATER

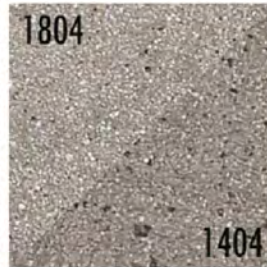
NEW PARKING FOR ADDITION

NEW SITE DESIGN CONCEPTS

Front Plaza



Back Plaza



AGD
ARCHITECTURE | DESIGN

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REVISIONS

NOT FOR CONSTRUCTION

PROJECT

ROYAL THEATER
848 CA-1
GUADALUPE, CA 95044
APR. 115-101-001,
115-101-011,
115-113-001

CLIENT

CLIENT

SHEET TITLE

MATERIALS BOARD

DATE: 10/06/2021

TECHNICIAN: GS & MW

PROJECT MANAGER: MW

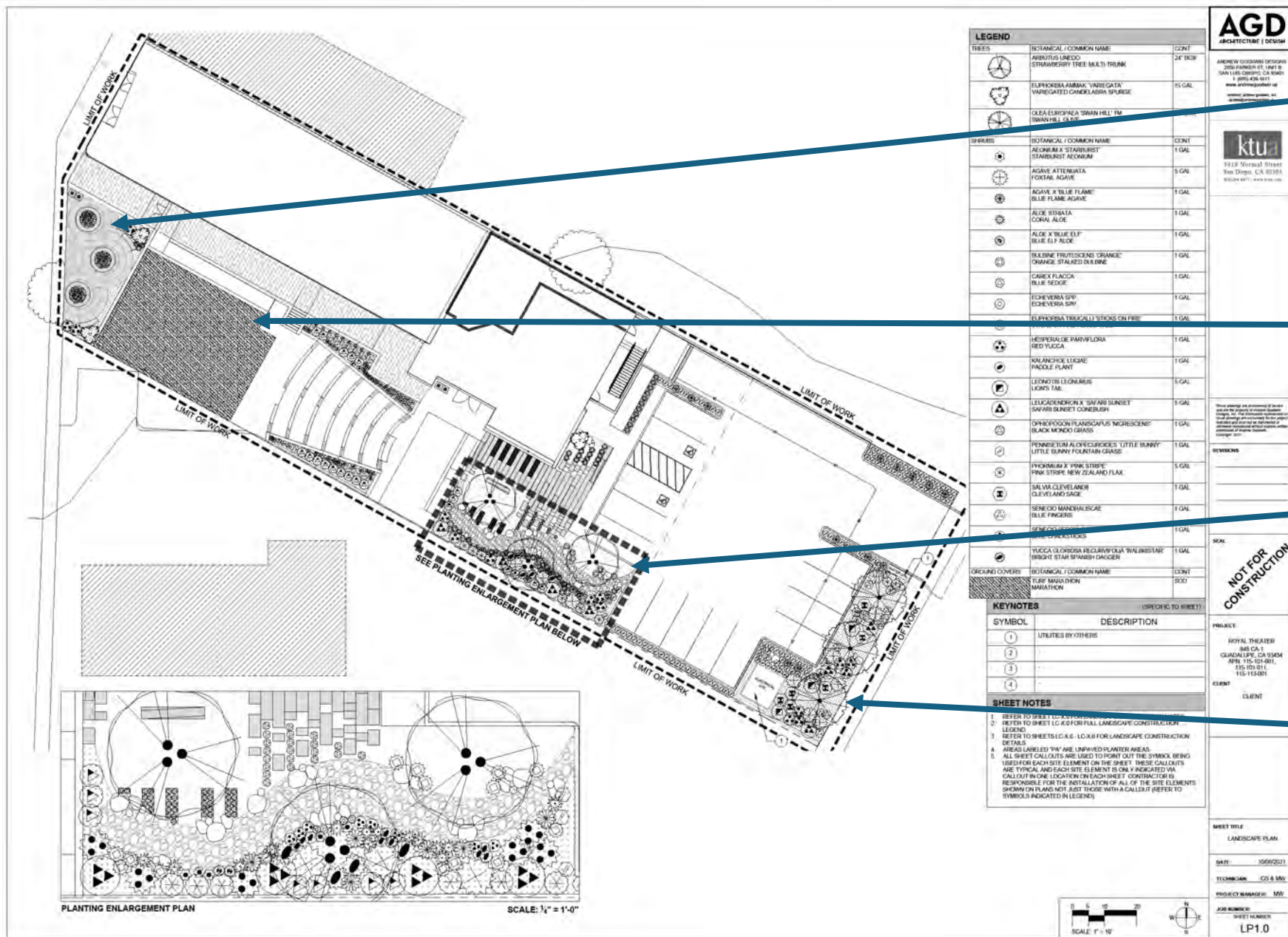
JOB NUMBER:

SHEET NUMBER

LC3.0



NEW LANDSCAPE PLAN



AGD
ARCHITECTURE / DESIGN

AMENITY CONSULTING DESIGN
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805.426.4511
www.amenitydesign.com

ktu
3318 Normal Street
San Diego, CA 92104
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LEGEND

TREES	(BOTANICAL / COMMON NAME)	QTY
(Symbol)	ARBUS USUNDO STRAWBERRY TREE (MULTI-TRUNK)	2E (6X3)
(Symbol)	ELIPSONDA AMBAK 'VIREGATA' VIRGATED DANDELARIA SPURSE	15 GAL
(Symbol)	OLEA EUROPAEA 'SWAN HILL' TM SWAN HILL OLIVE	
SHRUBS	(BOTANICAL / COMMON NAME)	QTY
(Symbol)	AZONUM X STARRBURST STARRBURST ACONIUM	1 GAL
(Symbol)	AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL
(Symbol)	AGAVE X TILLIE FLAME BLUE FLAME AGAVE	1 GAL
(Symbol)	ALOE STHATA CORAL ALOE	1 GAL
(Symbol)	ALOE X TILLIE ELF BLUE ELF ALOE	1 GAL
(Symbol)	BULBINE FRUTESCENS 'ORANGE' ORANGE STALKED BULBINE	1 GAL
(Symbol)	CAREX FLACIDA BLUE SEDGE	1 GAL
(Symbol)	ESCHEVERIA SP. ESCHEVERIA SP.	1 GAL
(Symbol)	ELIPSONDA TALLIUM STICKS ON FIRE	1 GAL
(Symbol)	HEPERALOE PARVIFLORA RED YUCCA	1 GAL
(Symbol)	KALANCHOE LUCIDAE PADDLE PLANT	1 GAL
(Symbol)	LEONATUS LONGIBUS LIONS TAIL	5 GAL
(Symbol)	LEUCASPORIX 'SAFARI SUNSET' SAFARI SUNSET CORNELIUSH	5 GAL
(Symbol)	OPHIOPOGON FLANCAULUS 'NIGRISCENT' BLACK MONDO GRASS	1 GAL
(Symbol)	PENNISTEMON ALONCHINGIDES 'LITTLE BUNNY' LITTLE BUNNY FOURTARY GRASS	1 GAL
(Symbol)	PHORMIUM X 'PINK STRIPE' PINK STRIPE NEW ZEALAND FLAX	5 GAL
(Symbol)	SALVA CLEVELANDI CLEVELAND SAGE	1 GAL
(Symbol)	SENECO MANDRALESCAE BLUE FINGERS	1 GAL
(Symbol)	SENECO PROCKSTOCKS	1 GAL
(Symbol)	YUCCA GLORIOSA REGULARIUM 'WALKERSTAR' BRIGHT STAR SPANISH SAUCE	1 GAL
GROUND COVER	(BOTANICAL / COMMON NAME)	QTY
(Symbol)	FLOR 'MAGNETRON' MAGNETRON	500

KEYNOTES (SPECIFIC TO SHEET)

SYMBOL	DESCRIPTION
(1)	LITERIES BY OTHERS
(2)	
(3)	
(4)	

SHEET NOTES

- REFER TO SHEET LC-01 FOR PLANTING LEGEND.
- REFER TO SHEET LC-02 FOR FULL LANDSCAPE CONSTRUCTION LEGEND.
- REFER TO SHEETS C.A.S.E. LC-03 FOR LANDSCAPE CONSTRUCTION DETAILS.
- AREAS LABELED 'N/A' ARE UNIMPLANTED PLANTER AREAS.
- ALL SHEET CALLOUTS ARE USED TO POINT OUT THE SYMBOL BEING USED FOR EACH SITE ELEMENT ON THE SHEET. THESE CALLOUTS ARE TYPICAL AND EACH SITE ELEMENT IS ONLY INDICATED VIA CALL OUT IN ONE LOCATION ON EACH SHEET. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL OF THE SITE ELEMENTS SHOWN ON PLANS. NOT JUST THOSE WITH A CALL OUT (REFER TO SYMBOLS INDICATED IN LEGEND).

NOT FOR CONSTRUCTION

PROJECT: ROYAL THEATER
445 CA-1
GRAND LANE, CA 95044
408-115-0210
315-051-0111
115-115-0001

CLIENT: CLIENT

SHEET TITLE: LANDSCAPE PLAN
DATE: 10/09/2021
TECHNICIAN: CS & MV
PROJECT NUMBER: 100

JOB NUMBER: SHEET NUMBER: LP1.0

SCALE: 1" = 10'

























DROUGHT TOLERANT PLANTING

FLAT TURF AREA FOR OUTDOOR EVENTS

LANDSCAPE PLAZA AND STORMWATER MANAGEMENT

STREET TREES AT PARKING LOT

NEW LANDSCAPE DESIGN CONCEPTS

 Aeonium x "Starburst" Starburst Aeonium	 Agave attenuata Foxtail Agave	 Agave x "Blue Flame" Blue Flame Agave	 Aloe striata Coral Aloe	 Aloe x "Blue Elf" Blue Elf Aloe	 Arbutus unedo Strawberry Tree
 Bulbine frutescens Orange Stalked Bulbine	 Carex flacca Blue Sedge	 Echevaria spp. Echevaria	 Euphorbia tirucalli Sticks on Fire Pencil Tree	 Euphorbia ammak Candelabra Spurge	 Hesperaloe parviflora Red Yucca
 Kalanchoe luciae Paddle Plant	 Leonitis leonurus Lion's Tail	 Leucadendron Safari Sunset Conebush	 Marathon Turf	 Olea europaea Swan Hill Olive	 Ophiopogon planiscapus Black Mondo Grass
 Pennisetum alopecuroides Little Bunny Fountain Grass	 Phormium x "Pink Stripe" New Zealand Flax	 Salvia clevelandii Cleveland Sage	 Senecio mandraliscae Blue Fingers	 Senecio serpens Blue Chalksticks	 Yucca gloriosa Spanish Dagger

AGD
ARCHITECTURE DESIGN

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619-294-4477 www.ktua.com

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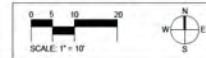
DATE: 10/09/2021

TECHNICIAN: CS & MW

PROJECT MANAGER: MW

JOB NUMBER: SHEET NUMBER

L4.0



NOT FOR CONSTRUCTION

RENDERING – VIEW FROM STREET



RENDERING – VIEW FROM OUTDOOR AMPHITHEATER



RENDERING – REAR VIEW FROM PARKING LOT



THANK YOU