GUADALUPE LEROY PARK PARKING LOT UPGRADE

4689 11TH STREET GUADALUPE, CALIFORNIA 93434



ANDREW GOODWIN DESIGNS 1238 MONTEREY STREET SAN LUIS OBISPO, CA 93422 t: (805) 439-1611 www.andrewgoodwin.us

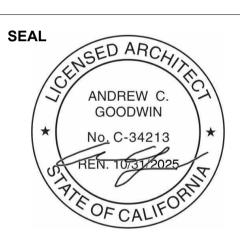
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Sheet Number	Sheet Name	Sheet Issue Date	Current Rev	Current Rev Date
G0.0	TITLE SHEET	03/29/2024		
A1.1	PROPOSED SITE PLAN	10/23/2024		
C-1.0	GENERAL NOTES	03/29/24		
C-2.0	HORIZONTAL CONTROL	03/29/24		
C-3.0	GRADING AND DRANAGE PLAN	03/29/24		
C-3.1	GRADING AND DRANAGE PLAN	03/29/24		
C-4.0	EROSION CONTROL	03/29/24		
C-4.1	EROSION CONTROL DETAILS	03/29/24		

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REVISIONS

REV # | REV DATE | REV DESCRIPTION



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GUADALUPE, CALIFORNIA 93434

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PARKING LOT UPGRADE

CITY OF GUADALUPE

PROJECT

4689 11TH STREET

SHEET TITLE

TITLE SHEET

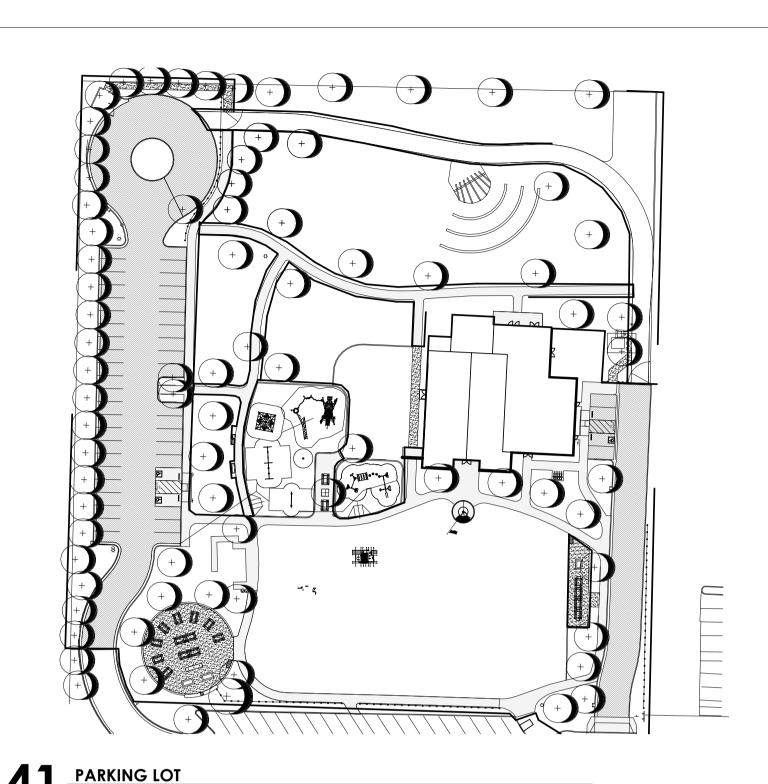
TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: SHEET NUMBER

REQUIRED PERMITTING PER THIS CONSTRUCTION DOCUMENT SET:

BUILDING PERMIT



COLUMN GRIDLINE

BUILDING

DETAIL OR

ENLARGED

REVISION NUMBER

ELEVATION

- DO NOT SCALE PLANS.
- ALL CONSTRUCTION SHALL CONFORM WITH TITLE 24 AND THE 2022 CBC, CMC, CPC AND 2022 CEC AMENDMENTS AND CITY OF GUADALUPE MINICIPAL CODE.

SHEET NUMBER WHERE SECTION IS REFERENCED

SHEET NUMBER WHERE

SHEET NUMBER WHERE

SECTION IS REFERENCED

NUMBER OR LETTER

- REVISION NUMBER

SHEET FOUND

ELEVATION NUMBER - DETAIL NUMBER

- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD. ANY DISCREPANCIES ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT. DO NOT PROCEED WITHOUT RESOLVING DISCREPANCIES.
- DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWINGS SCALE OR PROPORTION. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER
- REQUIRED SANITARY FACILITIES SHALL BE PROVIDED ON THE JOB.
- OMISSIONS AND/OR CONFLICTS IN THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETING WORK WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWING AND/OR COMPLETE WORK TO STANDARDS
- THESE NOTES INDICATE CONSTRUCTION FOR PROPOSED BUILDING UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND SHALL APPLY GENERALLY THROUGHOUT TO SIMILAR CONDITIONS. UNLESS NOTED OTHERWISE ALL VESTIBULES, CLOSETS, COLUMNS PROJECTIONS, RECESSES, OR OTHER ADJACENT AREAS WITHIN SCHEDULED AREAS SHALL HAVE FINISHES AS SCHEDULED FOR THE RESPECTIVE SPACES IN WHICH THEY OCCUR. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF
- ALL WORK, AND ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWING. IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR

THE OWNER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.

- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO INTERIOR FINISH FACE.
- CONTRACTOR SHALL ARRANGE AND PAY FOR ALL TEMPORARY UTILITY SERVICES AND CONNECTIONS DURING CONSTRUCTION.

CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

- ANY CHANGES IN CONSTRUCTION SHALL BE ACCOMPANIED BY A CHANGE ORDER ISSUED BY THE GENERAL CONTRACTOR AND APPROVED BY THE OWNER.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED IMPROVEMENTS. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR HEREBY GUARANTEES TO THE OWNER THAT ALL MATERIALS, FIXTURES, AND EQUIPMENT FURNISHED TO THE PROJECT ARE NEW UNLESS
- ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED TO THE ARCHITECT/OWNER. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.
- ANY MATERIAL STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE.
- PRIOR TO FINAL INSPECTION, AS A DEFERRED SUBMITTAL ITEM, PROVIDE A FINAL COPY OF BUILDING OPERATION AND MAINTENANCE MANUAL TO BUILDING INSPECTOR. CALGREEN 5.408, 5.410, 5.504.5.1
- ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE DISTRICT.

THIS PROJECT MUST COMPLY WITH THE LATEST APPLICABLE CODE WHICH HAVE BEEN

- LIMITED TO THE FOLLOWING: 2022 CALIFORNIA BUILDING CODE, VOLS 1 & 2
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA REFERENCE STANDARDS CODE

THEY WERE PRINTED HERE ON THIS SHEET IN THEIR ENTIRETY.

THESE CODES SHALL BE CONSIDERED AN INTEGRAL PART OF THESE DRAWINGS AS IF

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT THE PROJECT SITE AS DESCRIBED IN THE CONTRACT DOCUMENTS PRIOR TO STARTING WORK. IF THERE IS ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, THE ARCHITECT

2. PREVENT DEBRIS FROM BEING DEPOSITED ON ADJACENT AREAS, WALKWAYS, AND

3. CAP ALL ABANDONED UTILITES BELOW FLOOR, ABOVE CEILING OR AS INDICATED ON

4. ALL EQUIPMENT TO BE REMOVED WILL BE SAVED FOR THE OWNER'S INSPECATION TO DETERMINE IF NEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL

5. PROVIDE SEISMIC RESTRAINTS FOR ALL PLUMBING, ELECTRICAL, MECHANICAL, AND

6. CONTRACTOR SHALL FURNISH MATERIAL, EQUIPMENT AND LABOR TO PATCH THE FLOOR AND REPAIR THE WALL AND CEILING TO MATCH THE ADJACENT EXISTING SURFACES AFTER INSTALLATION AND INSPECTION AS APPROVED.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS CLEAN UP OF THE SITE OF ALL DEBRIS, WHETHER CREATED BY HIS WORK OR THE FAILURE OF HIS SUBCONTRACTORS TO CLEAN UP THEIR WORK.

8. ALL LIFE/ SAFETY EQUIPMENT DISTURBED BY NEW CONSTRUCTION SHALL BE

9. CONTRACTOR TO PATCH ALL DISTURBED SURFACES TO MATCH EXISTING ADJACENT

10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK RELATED TO AND REQUIRED BY THE INSTALLATION OF NEW CONSTRUCTION. CONTRACTOR TO DETERMINE SIZE AND INSTALLATION METHOD OF NEW SYSTEMS. ALL WORK TO BE OF TOP QUALITY.

11. EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE THROUGHOUT THE WORK. ANY UTILITY SHUT-DOWN SHALL BE SCHEDULED A MINIMUM OF 48 HRS IN ADVANCE IN WRITING. ANY UTILITY SERVICE THAT IS DAMAGED SHALL BE PUT BACK IN SERVICE IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER.

12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT NO EMERGENCY EXIT IS BLOCKED AT ANY TIME.

13. CONTRACTOR SHALL MINIMIZE NOISE AND CONGESTION AS MUCH AS POSSIBLE DURING DEMOLITION.

14. DISCONNECTION OF AND/OR RELOCATION OF EXISTING PLUMBING, ELECTRICAL, MECHANICAL, AND FIRE SUPPRESSION EQUIPMENT SHALL BE DONE AT SUCH TIMES THAT OPERATIONS OF THE EXISTING FACILITY WILL BE UNAFFECTED.

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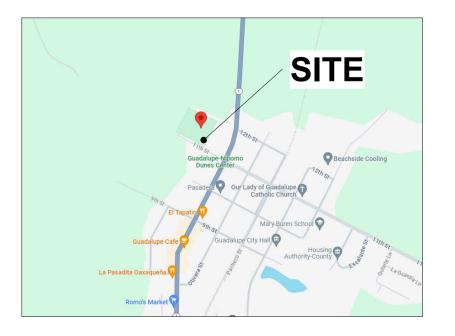
CITY OF GUADALUPE

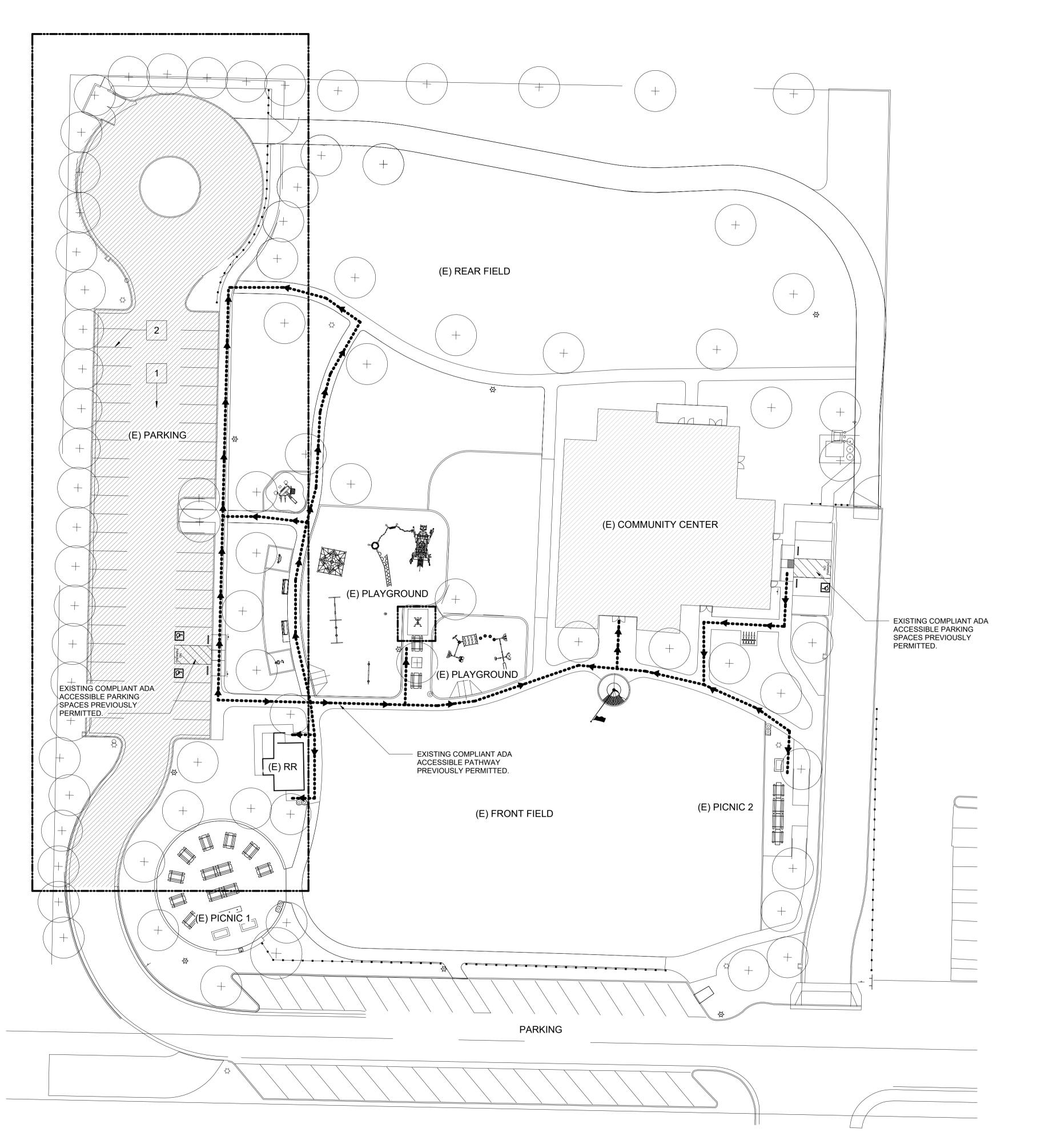
918 OBISPO STREET GUADALUPE, CA

CONTACT: TODD BODEM, CITY MANAGER

CIVIL:

WEST PARKING LOT PAVING UPGRADE







KEYNOTES: SITE PLAN

- NEW ASPHALT PAVED PARKING LOT PER CIVIL DRAWINGS.
- PROVIDE 4" WHITE PARKING SPACE STRIPING PER CIVIL DRAWINGS.



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GENERAL NOTES: SITE PLAN

- ALL EXISTING EXTERIOR DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO
- INFORMATION PERTAINING TO EXISTING UNDERGROUND FACILITIES AS SHOWN HEREIN IS FOR INFORMATION PURPOSES ONLY. UTILITIES SHOWN IN PLAN VIEW MAY NOT BE SHOWN IN PROFILE. IT SHALL BE THE RESPONSIBLILTY OF THE CONTRACTOR TO CONTACT "UNDERGROUND SERVICES ALER" AT 1-800-642-2444 FOR LOCATION OF ALL UNDERGROUND FACILITIES. ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE DELINEATED BASED ON THE BEST AS-BUILT INFORMATION AVAILABLE AT THE TIME. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACTUAL LOCATIONS OF THE CABLE TV, FIBER OPTIC, WATER, SEWER, DRAINAGE, OR OTHER UNDERGROUND FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT THAT POTENTIAL CONFLICTS OR INTERFACES ARE DISCOVERED.
- ALL UTILITY COMPANIES MUST BE INFORMED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF WIND EROSION AND DUST WITHIN THE AREAS OF OPERATION. METHOD OF CONTROL SHALL BE SELECTED BY THE CONTRACTOR BUT SHALL SATISFY REQUIREMENTS.
- ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES ON CENTER IN A COLOR CONTRASTING THAT OF THE AISLE SURFACE, PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN WHITE LETTER A MINIMUM OF 12 INCHES IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY. ACCESS AISLE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH. (CBC SECTION 11B-502.3.3)
- ACCESSIBLE PARKING SPACE AND ACCESS AISLE NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.
- PROVIDE A 2% SLOPE AWAYS FROM THE PROPOSED BUILDING FOR A MINIMUM OF FIVE FEET.
- ALL EXTERIOR LIGHTS SHALL NOT TRESPASS ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.

SIGNS SHALL NOT PROJECT OVER PUBLIC PROPERTY, VEHICULAR EASMENTS, OR RIGHT-OF-WAY. SIGNS SHALL NOT OBSTRUCT TRAFFICE SAFETY SIGHT AREAS.

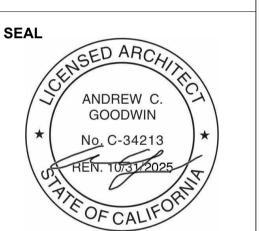
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REVISIONS

PROJECT

CLIENT

REV # REV DATE REV DESCRIPTION



GUADALUPE LEROY PARK

PARKING LOT UPGRADE

4689 11TH STREET

GUADALUPE, CALIFORNIA

93434

CITY OF GUADALUPE

GENERAL NOTES: CONCRETE WASHOUT

PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

APPROACH:
THE FOLLOWING STEPS WILL HELP REDUCE STORM WATER POLLUTION FROM CONCRETE WASTES:

- STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS.

- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.

- PERFORM WASHOUT OF CONCRETE TRUCKS OFF SITE OR IN DESIGNATED

- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.

- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS.

- FOR ON-SITE WASHOUT:

-- LOCATE WASHOUT AREA AT LEAST FIFTY FEET (50') FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.

-- WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

- WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER TO THE BERMED OR LEVEL AREA.

LEGEND: SITE

EXISTING BUILDING

SCOPE OF WORK

- DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN. COLLECT AND RETURN SWEEPINGS TO AGGREGATE BASE STOCK PILE, OR DISPOSE IN THE TRASH.

SHEET TITLE

PROPOSED SITE PLAN

JDM **TECHNICIAN:**

PROJECT MANAGER: MD

JOB NUMBER: SHEET NUMBER

A1.1

10/23/2024

FILE NAME: 1521-03 NOTE.DWG

GENERAL NOTES

- 1. THESE PLANS ARE PART OF A SET OF CONTRACT DOCUMENTS INCLUDING BUT NOT LIMITED TO SPECIFICATIONS AND SOIL SAMPLING TO VERIFY THE CHARACTERISTICS OF IMPORTED SOILS. WORK TO BE PERFORMED IS SUBJECT TO PROVISIONS IN ALL OF THE CONTRACT DOCUMENTS, AND THESE PLANS SHALL NOT BE CONSIDERED THE SOLE SOURCE OF CONSTRUCTION INFORMATION. ALL DESIGN, MATERIALS, AND CONSTRUCTION WORK SHALL CONFORM WITH THE COUNTY OF SANTA BARBARA ENGINEERING DESIGN STANDARDS MANUAL, THE PUBLIC WORKS DEPARTMENT POLICY LETTER TITLED "REVISED" DESIGN AND CONSTRUCTION STANDARDS, DATED 12/8/97, THE CALTRANS REVISED STANDARD PLANS FOR THE LATEST ADA / HANDICAPPED CURB CUT RAMP DETAILS, AND THE COUNTY'S APPROVED TREE LIST AND SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER AND THE CONTRACT DOCUMENTS.
- 2. CONTRACTOR SHALL BE FAMILIAR WITH THE PROJECT GEOTECHNICAL REPORTS TITLED "SOILS ENGINEERING REPORT, GUADALUPE COMMUNITY CENTER, 4689 11TH STREET, APN: 115-020-007, GUADALUPE, CA" DATED SEPTEMBER 20, 2019 BY GEOSOLUTIONS INC. THESE REPORTS ARE PROVIDED AS INFORMATION ONLY. COPIES OF THESE REPORTS ARE AVAILABLE FROM THE OWNER.
- 3. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE ENGINEER AND OWNER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER, OR THIRD PARTY IN VIOLATION OF THE LAW OR IN TRESPASS. THE CONTRACTOR SHALL PRACTICE SAFETY AT ALL TIMES AND SHALL FURNISH, ERECT, AND MAINTAIN, SUCH FENCES, BARRICADES, LIGHTS, AND SIGNS NECESSARY TO GIVE ADEQUATE PROTECTION TO THE PUBLIC AT ALL TIMES.
- 4. THE CONTRACTOR SHALL HAVE COPIES OF THE APPROVED CONTRACT DOCUMENTS FOR THIS PROJECT ON THE SITE AT ALL TIMES AND SHALL BE FAMILIAR WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS, INCLUDING THE STORMWATER POLLUTION PREVENTION PLAN.
- 5. THE PROJECT MANAGER OR THE ENGINEER MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
- 6. INFORMATION PERTAINING TO EXISTING UNDERGROUND FACILITIES AS SHOWN HEREIN IS FOR INFORMATION PURPOSES ONLY. UTILITIES SHOWN IN THE PLAN VIEW MAY NOT BE SHOWN IN PROFILE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT "UNDERGROUND SERVICE ALERT" AT 811 FOR LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE DELINEATED BASED ON THE BEST AS-BUILT INFORMATION AVAILABLE AT THE TIME AND/OR DRAWINGS FOR SUCH NEW UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACTUAL LOCATIONS OF ALL EXISTING UNDERGROUND FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT THAT POTENTIAL CONFLICTS OR INTERFERENCES ARE DISCOVERED.
- 7. THE ENGINEER OF RECORD SHALL PERFORM A SITE INSPECTION OF COMPLETED WORK TO DETERMINE SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS. CONTRACTOR SHALL CORRECT ANY DIFFERENCES FOUND BY SUCH OBSERVATION AND WILL PROVIDE ALL CONTRACTOR'S RECORDS KEPT DURING THE COURSE OF CONSTRUCTION TO THE ENGINEER FOR PREPARATION OF RECORD DRAWINGS. ENGINEER WILL PREPARE SUCH RECORD DRAWINGS UPON COMPLETION OF THE WORK AND PRIOR TO FINAL INSPECTION.
- 8. THE CONTRACTOR SHALL CONTINUALLY REVIEW JOB SITE CONDITIONS.
 CONDITIONS REQUIRING CONSTRUCTION DIFFERENT FROM THAT SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED CONSTRUCTION.
- 9. THESE DRAWINGS REPRESENT THE FINISHED CONDITION AND UNLESS OTHERWISE INDICATED, THEY DO NOT SHOW THE METHOD OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS, FEES, BONDS, OR CHARGES IN CONNECTION WITH THE WORK, EXCEPT AS NOTED IN SPECIFICATIONS.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OR PROPER RESETTING OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS. ANY SURVEY MONUMENTS DESTROYED BY THE CONTRACTOR SHALL BE REPLACED IN ACCORDANCE WITH THE STATE LAND SURVEYOR'S ACT AT THE CONTRACTOR'S EXPENSE.
- 11. ALL IMPROVEMENTS SHOWN OR INDICATED ON THESE DRAWINGS ARE TO BE CONSTRUCTED AND/OR INSTALLED BY THE CONTRACTOR FOR THIS PROJECT, UNLESS THEY ARE CALLED OUT AS: "EXISTING," "FUTURE," "NIC, " OR HAVE SOME OTHER EXCLUDING NOTATION.
- 12. CONTRACTOR SHALL RESTORE ALL EXISTING IMPROVEMENTS, IMPACTED BY CONSTRUCTION, TO PRE-EXISTING CONDITIONS OR BETTER.
- 13. AS-BUILT DRAWINGS SHALL BE PROVIDED WITH LOCATION MARKERS BEFORE FINAL ACCEPTANCE.
- 14. IN THE EVENT THAT ANY PREHISTORIC, HISTORIC, OR PALEONTOLOGICAL RESOURCES ARE DISCOVERED DURING CONSTRUCTION-RELATED EARTH-MOVING ACTIVITIES, ALL WORK WITHIN 50 FEET OF THE RESOURCES SHALL BE HALTED AND THE TRIBE SHALL CONSULT WITH A QUALIFIED ARCHAEOLOGIST AND BIA REGIONAL ARCHAEOLOGIST, THEN REPRESENTATIVES FROM THE TRIBE, THE QUALIFIED ARCHAEOLOGIST AND/OR PALEONTOLOGIST, AND BIA REGIONAL ARCHAEOLOGIST WOULD MEET TO DETERMINE THE APPROPRIATE COURSE FOR ACTION. ALL SIGNIFICANT CULTURAL MATERIALS RECOVERED SHALL BE SUBJECT TO SCIENTIFIC ANALYSIS, PROFESSIONAL MUSEUM CURATION, AND A REPORT PREPARED BY THE QUALIFIED ARCHAEOLOGIST ACCORDING TO CURRENT PROFESSIONAL STANDARDS.
- 15. THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR CONSTRUCTION WATER. RECYCLED WATER FROM ON-SITE WWTP SHALL BE USED WHENEVER POSSIBLE.
- 16. OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS AND STANDARDS SHALL BE OBSERVED AT THE JOB SITE AT ALL TIMES.
- 17. THE CONTRACTOR SHALL HAVE A CAL-OSHA PERMIT AS REQUIRED BY CALIFORNIA LABOR CODE 6500. THE CONTRACTOR SHALL COMPLY WITH THE CAL-OSHA SHORING SYSTEM STANDARDS FOR TRENCH EXCAVATION SAFETY. NO PERSONNEL SHALL ENTER TRENCHES WHICH ARE IN EXCESS OF 5 FEET IN DEPTH UNLESS SUCH TRENCHES HAVE APPROPRIATE SHORING, BRACING, SLOPING, OR OTHER PROVISIONS TO BE MADE FOR WORKER PROTECTION FROM THE HAZARD OF CAVING GROUND, IN COMPLIANCE WITH THE CAL-OSHA CONSTRUCTION SAFETY ORDERS.
- 18. UTILITY COMPANIES:
- GAS SYSTEM
 TELEPHONE SYSTEM
 CABLE TELEVISION
 ELECTRIC SYSTEM
- SOUTHERN CALIFORNIA GAS COMPANY VERIZON COMCAST CABLE OF SANTA MARIA PACIFIC GAS & ELECTRIC
- 19. TRAFFIC CONTROL TO BE PERFORMED IN ACCORDANCE WITH CURRENT CALTRANS STANDARD PLANS & SPECIFICATIONS, AND THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CAMUTCD).

GRADING NOTES

- I. ALL GRADING AND SITE WORK SHALL BE DONE IN ACCORDANCE WITH CALTRANS STANDARD SPECIFICATIONS AND THE SANTA BARBARA COUNTY GRADING ORDINANCE AND SPECIFICATIONS OF THE SOILS ENGINEER: GEOSOLUTIONS, SOILS ENGINEERING REPORT TITLED "SOILS ENGINEERING REPORT, GUADALUPE COMMUNITY CENTER, 4689 11TH STREET, APN: 115-020-007, GUADALUPE, CA" DATED SEPTEMBER 20, 2019. IN THE CASE OF CONFLICT BETWEEN THE PRECEDING REQUIREMENTS AND THESE PLANS, THE MORE STRINGENT SHALL GOVERN.
- 2. FILL AREA SHALL BE PREPARED AS REQUIRED BY THE SOILS ENGINEER. NO FILL SHALL BE PLACED UNTIL PREPARATION OF THE SITE HAS BEEN APPROVED BY THE SOILS ENGINEER.
- 3. CLEAN FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8 INCHES IN COMPACTED THICKNESS AND COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY.
- 4. SITE SOILS OR SIMILAR SOILS SHALL BE MOISTURE CONDITIONED AND PLACED AS PROPERLY COMPACTED FILL UP TO 18 INCHES BELOW THE BOTTOM OF THE SLAB OF THE BUILDING EXPANSION; THE UPPER 18 INCHES SHALL CONSIST OF PROPERLY PLACED NONEXPANSIVE SOILS, AS DESCRIBED BELOW.
- 5. FOLLOWING SITE PREPARATION, THE PAVEMENT AREAS SHALL BE OVER-EXCAVATED TO 12 INCHES BELOW APPROXIMATE SUBGRADE ELEVATION (CLASS II BASE COURSE) OR TO COMPETENT MATERIAL; WHICHEVER IS DEEPER. THE EXPOSED SURFACE SHOULD BE SCARIFIED AN ADDITIONAL DEPTH OF 12 INCHES, MOISTURE CONDITIONED TO SLIGHTLY ABOVE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95 PERCENT (ASTM D1557 TEST METHOD). IF FILL IS REQUIRED TO REACH SUBGRADE ELEVATION, THE PREPARED SOIL SURFACE SHALL BE SCARIFIED, MOISTURE CONDITIONED, AND COMPACTED PRIOR TO PLACEMENT OF FILL. FILL SHALL THEN BE PLACED AND COMPACTED; THE UPPER 12 INCHES OF THE SUBGRADE AND ALL AGGREGATE BASE IN AREAS TO RECEIVE PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY. SUBGRADE AND AGGREGATE BASE SHALL BE FIRM AND UNYIELDING WHEN PROOFROLLED WITH HEAVY, RUBBER-TIRED GRADING EQUIPMENT PRIOR TO CONTINUING CONSTRUCTION.
- 6. IN THE REMAINDER OF THE GRADING IN THE COMMUNITY PARK AREA, THE PREPARED SOIL SURFACES SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED, AND COMPACTED PRIOR TO THE PLACEMENT OF ANY FILL.
- 7. WHERE FILL WILL BE PLACED ON SLOPES THAT EXCEED A GRADIENT OF 10:1, THE PREPARED SURFACE SHALL FIRST BE EXCAVATED INTO BENCHES CUT INTO FIRM ALLUVIUM. WHERE FILL WILL BE PLACED ON SLOPES THAT EXCEED A GRADIENT OF 5:1 PERCENT, A KEYWAY SHALL BE CONSTRUCTED AT THE TOE OF THE FILL. THE KEYWAY SHALL PENETRATE A MINIMUM OF 2 FEET INTO FIRM ALLUVIUM, AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
- 8. BENCHES AND KEYWAYS SHALL BE A MINIMUM OF 10 FEET WIDE AND SHOULD BE ESSENTIALLY FLAT. IF THE EXISTING UNDOCUMENTED FILL IS EXPOSED AT THE BOTTOM OF ANY BENCH OR KEYWAY, IT SHALL BE REMOVED IN ITS ENTIRETY.
- 9. A DRAIN SHALL BE PLACED AT THE BACK OF ALL KEYWAYS AND BENCHES.
- 10. VOIDS CREATED BY DISLODGING ROCKS AND/OR DEBRIS DURING SCARIFICATION SHALL BE BACKFILLED AND REPLACED WITH APPROPRIATE FILL MATERIAL, AND THE DISLODGED MATERIALS SHALL BE REMOVED FROM THE WORK AREA.
- 11. NONEXPANSIVE MATERIALS ARE DEFINED AS MATERIALS THAT FALL IN THE GW, GP, GM, GC, SP, SW, SC AND SM CATEGORIES PER ASTM D 2487-LL, AND THAT HAVE AN EXPANSION INDEX OF 10 OR LESS (ASTM D 4829-LLL. PROPOSED NONEXPANSIVE MATERIALS SHALL BE REVIEWED BY THE GEOTECHNICAL ENGINEER BEFORE BEING BROUGHT TO THE SITE, AND ON AN INTERMITTENT BASIS DURING PLACEMENT.
- 12. ALL MATERIALS USED AS FILL SHALL BE CLEANED OF ALL DEBRIS AND ANY ROCKS LARGER THAN 6 INCHES IN MAXIMUM DIMENSION. WHEN FILL MATERIAL INCLUDES ROCKS, THE ROCKS SHALL BE PLACED IN A SUFFICIENT SOIL MATRIX TO ENSURE THAT VOIDS CAUSED BY NESTING OF THE ROCKS WILL NOT OCCUR AND THAT THE FILL CAN BE PROPERLY COMPACTED. ALL FILL SHALL BE PLACED IN MAXIMUM 8-INCH LOOSE LEVEL LIFTS, MOISTURE CONDITIONED AND COMPACTED.
- 13. IF THE SOILS BECOME UNSTABLE, OR IF THE RECOMMENDED COMPACTION CANNOT BE READILY ACHIEVED, DRYING THE SOIL TO OPTIMUM MOISTURE CONTENT, OR JUST ABOVE, MAY BE NECESSARY. PLACEMENT OF GRAVEL LAYERS OR GEOTEXTILES MAY ALSO BE NECESSARY TO HELP STABILIZE UNSTABLE SOILS. SOILS THAT ARE DISTURBED IN ANY MANNER SHALL BE REMOVED, MOISTURE CONDITIONED, AND RECOMPACTED.
- 14. PERMANENT CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 (HORIZONTAL:VERTICAL) SLOPE ANGLE.
- 15. CONTRACTOR TO REVIEW AND FOLLOW ALL RECOMMENDATIONS OUTLINED IN THE PROJECT SOILS REPORT. SEE GEOTECHNICAL REPORT FOR COMPLETE LIST OF RECOMMENDATIONS.

STORM WATER POLLUTION PREVENTION NOTES

- 1. THE EROSION CONTROL PLAN IS INCLUDED IN THIS PLAN SET
- 2. EROSION CONTROL MEASURES FOR WIND, WATER, MATERIAL STOCKPILES, AND TRACKING SHALL BE IMPLEMENTED ON ALL PROJECTS AT ALL TIMES AND SHALL INCLUDE SOURCE CONTROL, INCLUDING PROTECTION OF STOCKPILES, PROTECTION OF SLOPES, PROTECTION OF ALL DISTURBED AREAS, PROTECTION OF ACCESSES, AND PERIMETER CONTAINMENT MEASURES. EROSION CONTROL SHALL BE PLACED PRIOR TO THE COMMENCEMENT OF GRADING AND SITE DISTURBANCE ACTIVITIES UNLESS THE PUBLIC WORKS DEPARTMENT DETERMINES TEMPORARY MEASURES TO BE UNNECESSARY BASED UPON LOCATION, SITE CHARACTERISTICS OR TIME OF YEAR. THE INTENT OF EROSION CONTROL MEASURES SHALL BE TO KEEP ALL GENERATED SEDIMENTS FROM ENTERING A SWALE, DRAINAGE WAY, WATERCOURSE, ATMOSPHERE, OR MIGRATE ONTO ADJACENT PROPERTIES OR ONTO THE PUBLIC RIGHT-OF-WAY.
- 3. SITE INSPECTIONS AND APPROPRIATE MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES SHALL BE CONDUCTED AND DOCUMENTED DURING NORMAL WORKING HOURS FOR THE SITE AND ONLY IF IT IS SAFE TO PERFORM AN INSPECTION DURING CONSTRUCTION AND ESPECIALLY PRIOR TO, DURING, AND AFTER RAIN EVENTS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT AND MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES UNTIL SUCH TIME THAT THE PROJECT IS ACCEPTED AS COMPLETE. EROSION CONTROL MEASURES/DEVICES MAY BE RELOCATED, DELETED OR ADDITIONAL MEASURES/DEVICES MAY BE REQUIRED DEPENDING ON THE ACTUAL CONDITIONS ENCOUNTERED DURING CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES/DEVICES SHALL BE PLACED AT THE DISCRETION OF THE ENGINEER OF WORK.
- 5. IN THE EVENT OF A FAILURE, THE CONTRACTOR AND/OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR CLEANUP AND ALL ASSOCIATED COSTS OR DAMAGE. IN THE EVENT THAT DAMAGE OCCURS WITHIN THE RIGHT-OF-WAY AND THE COUNTY IS REQUIRED TO PERFORM CLEANUP, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COUNTY REIMBURSEMENT OF ALL ASSOCIATED COSTS OR DAMAGE.

- 6. PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 70% COVERAGE ON ALL DISTURBED SURFACES OTHER THAN PAVED OR GRAVEL SURFACES, PERMANENT EROSION CONTROL SHALL BE FULLY ESTABLISHED PRIOR TO FINAL ACCEPTANCE. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT MEASURES ARE ESTABLISHED.
- 7. ALL DISTURBED AREAS SHALL BE HYDROSEEDED OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER CONSTRUCTION IS COMPLETE. FOR EROSION CONTROL SEED MIX, SEE SHEET L-2.2, NOTE 15 "HYDROSEEDING".
- 13. EFFECTIVE SOIL COVER WILL BE IMPLEMENTED FOR AREAS SCHEDULED TO BE INACTIVE FOR AT LEAST 14 DAYS AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED LOTS.
- 14. THE USE OF PLASTIC MATERIALS WILL BE LIMITED WHEN ALTERNATIVES EXIST.
- 15. ALL EQUIPMENT/ VEHICLES WILL BE FUELED, MAINTAINED AND STORED IN THE DESIGNATED STAGING AREA FITTED WITH APPROPRIATE BMPs.
- 16. STORAGE AREAS FOR MATERIALS, WASTE, WATER STORAGE, WATER TRANSFER FOR DUST CONTROL AND COMPACTION PRACTICES SHALL BE LOCATED WITHIN THE DESIGNATED STAGING AREAS.
- 17. STOCKPILED CONSTRUCTION MATERIALS NOT BEING ACTIVELY USED SHALL BE COVERED AND BERMED PRIOR TO QUALIFYING RAIN EVENT.
- 18. TRACKING ONTO THE PUBLIC STREET SHALL BE MINIMIZED. THE ADJOINING STREETS SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT, DUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY.
- 19. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN PERMANENT IMPROVEMENTS, PLANTINGS, AND FACILITIES ARE IN PLACE. TEMPORARY MEASURES SHALL BE REMOVED PRIOR TO FINAL INSPECTION.

DUST CONTROL NOTES

- 1. IMPLEMENT PERMANENT DUST CONTROL MEASURES AS SOON AS POSSIBLE FOLLOWING COMPLETION OF ANY SOIL DISTURBING ACTIVITIES
- 2. STABILIZE ALL DISTURBED/EXPOSED SOIL AREAS PER THE EROSION CONTROL NOTES.
- 3. DURING CONSTRUCTION, WATER TRUCKS OR SPRINKLER SYSTEMS TO BE USED IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. INCREASED FREQUENCY WILL BE REQUIRED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WATER SHALL BE USED WHENEVER POSSIBLE.
- 4. ALL DIRT STOCKPILE AREAS TO BE SPRAYED DAILY AS NEEDED.
- 5. ALL TRUCKS HAULING SOIL MATERIALS TO AND FROM THE SITE SHALL BE COVERED WITH A TARP TO PREVENT DUST FROM BLOWING OFF THE TRUCK.
- 6. ALL CONSTRUCTION VEHICLES SHALL NOT EXCEED 15 MPH ON ANY UNPAVED SURFACE AT THE CONSTRUCTION SITE.
- 7. SWEEP STREETS AT THE END OF EACH DAY IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PAVED ROADS. WATER SWEEPERS WITH RECLAIMED WATER SHOULD BE USED WHEN FEASIBLE.
- 8. THE CONTRACTOR SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING, AS NECESSARY, TO REDUCE THE TRANSPORT OF DUST OFF-SITE. THE DESIGNATED PERSON'S DUTY SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS.
- CONSTRUCTION EQUIPMENT SHALL CONFORM TO THE MOST CURRENT AIR QUALITY REGULATIONS FOR THE OPERATION OF MOTOR VEHICLES.
- 11. AREA OF DISTURBANCE = ± 21.000 S.F., 0.48 AC.

3BF	REVIATIONS	LP LT	LIGHT POLE LEFT	LEGEND		
	ASPHALTIC CONCRETE ASBESTOS CEMENT PIPE	M MAX	METER MAXIMUM	EXISTING	PROPOSED	DESCRIPTION
	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	MIN MISC	MINIMUM MISCELLANEOUS			
	AIR RELEASE VALVE	MH	MANHOLE			
	AIR AND VACUUM (COMBINATION) VALVE	N/A NGVD	NOT APPLICABLE NATIONAL GEODETIC	©		SEWER MANHOLE
	AVERAGE BEGIN CURVE	NIC	VERTICAL DATUM NOT IN CONTRACT			SEWER WANTOLE
	BLIND FLANGE BUTTERFLY VALVE	NTS	NOT TO SCALE	- 0 -	- o -	SINGLE POST SIGN
	BUREAU OF INDIAN AFFAIRS	OD PCC	OUTSIDE DIAMETER PORTLAND CEMENT CONCRETE	_	_	SERVICE LATERAL
	BUILDING BENCH MARK	PH	POTHOLE (UTILITY WAS POTHOLED)	E	<u> </u>	(W=WATER, G=GAS, U=UTILIT
	BLOW OFF BALL VALVE	PIV	POST INDICATOR VALVE		-	SERVICE METER (W=WATER)
	CURB COMBINATION AIR VALVE	POC PL	POINT OF CONNECTION PROPERTY LINE		•	,
	CABLE TELEVISION CAST IRON	PRV PSF	PRESSURE REGULATING VALVE POUND PER SQURE FOOT		_	SEWER LATERAL
	CENTERLINE CLASS	PSI	POUND PER SQUARE INCH	+\$	Φ	FIRE HYDRANT
	CORRUGATED METAL PIPE	PVC R	POLYVINYL CHLORIDE RADIUS	————	\bigcirc	STORM DRAIN MANHOLE
	CLEANOUT CONCRETE	RC RCP	REINFORCED CONCRETE REINFORCED CONCRETE PIPE			
Γ	CONSTRUCTION CONTINUOUS	REQD	REQUIRED			STORM DRAIN CATCH BASIN
	CATHODIC PROTECTION COUPLING	RT R/W	RIGHT RIGHT OF WAY	 ⊗	———⊗———	GATE VALVE
	CUBIC YARD DETAIL	RET WALL SS	RETAINING WALL SANITARY SEWER	<u> </u>	F	CAP
	DIAMETER	SCH	SCHEDULE		L	
	DIMENSION DRIVEWAY	SD SHT	STORM DRAIN SHEET	△	Δ	SURVEY MONUMENT
	EXISTING EACH	SPEC	SPECIFICATIONS	◆ #PT	◆ #PT	BENCH MARK
	END CURVE ELEVATION	SSFM STA	SANITARY SEWER FORCE MAIN STATION	(2.00) %	2.00 %	SLOPE PERCENTAGE
	EDGE OF PAVEMENT EXISTING	STD STL	STANDARD STEEL	(2.00) 70	2.00 %	SLOPE PERCENTAGE
	EXISTING GROUND FLANGE COUPLING ADAPTOR	SW	SIDEWALK	~ ~ ~ ~ ~		TREES
	FIRE DEPARTMENT	T TB	TELEPHONE THRUST BLOCK			IREES
	CONNECTION FINISH FLOOR	TB TC	TOP OF BANK TOP OF CURB			SHRUBS
	FINISH GRADE FIRE HYDRANT	TF	TOP OF FOOTING	←		STREET LIGHT
	FLOW LINE FIRE LINE	TG TP	TOP OF GRATE TOP OF PAVEMENT			LITH ITY DOY
	FLANGE FINISH SURFACE	TYP	TYPICAL	UTL		UTILITY BOX
	FEET GAS	TW UTL	TOP WALL COMMON TRENCH UTILITIES			
	GAGE	VAR VC	VARIES VERTICAL CURVE		/ / // // // // // //	EDGE OF PAVEMENT
	GALLON GALVANIZED	VIC	VICTAULIC COUPLING	WL		WATER LINE
	GRADE BREAK GALLONS PER DAY	VERT W	VERTICAL WATER			OTODIA DDAIN
	GALLONS PER MINUTE GATE VALVE	WF	WIDE FLANGE	— — — SD —	SD SD	STORM DRAIN
	HANDICAP HIGH DENSITY POLYETHYLENE	WL WM	WATER LINE WATER METER	— — — ELE —	ELE	UNDERGROUND
	HYDRAULIC GRADE LINE	WS WV	WATER SERVICE WATER VALVE			ELECTRICAL LINE
	INSIDE DIAMETER INCHES	WWM	WELDED WIRE MESH	— — TEL —	TEL	UNDERGROUND
	INVERT JOINT POLE	WW	WET WELL			TELEPHONE LINE
	JOINT UTILITY TRENCH		IIS IS A STANDARD SET OF TIONS. NOT ALL ABBREVIATIONS			RIGHT OF WAY
	LENGTH LATERAL		VILL APPLY TO THIS WORK.			EASEMENT
	LINEAR FEET					
						CENTERLINE
				××	××	BARBED WIRE FENCE
						WOOD FENCE
						RETAINING WALL
					──→ …	FLOWLINE
						SWALE
						AC DIKE/CONCRETE CURB
					ss	SANITARY SEWER (GRAVITY)
					RW	RECYCLED WATER PIPELINE
						TO OLLD WITH IT LLINE
					———— FE ————	PLANT EFFLUENT PIPELINE

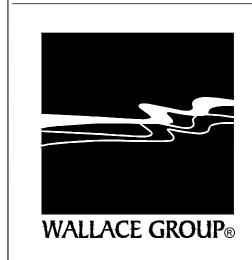
SURVEY NOTES

- 1. THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983, 1992 ADJUSTMENT [NAD83(1992)], EPOCH DATE OF 1991.35.
- 2. THE PROJECTION USED IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 5 PROJECTION.
- 3. THIS SURVEY TIED TO TWO (2) OF THE CONTROL MONUMENTS SHOWN ON THE SANTA MARIA VALLEY CONTROL RECORD OF SURVEY FILED IN BOOK 147 OF RECORD OF SURVEY AT PAGE 57 61 IN THE OFFICE OF THE COUNTY RECORDER. THOSE CONTROL MONUMENTS ARE DESIGNATED POINT 27 "1001", HAVING A PUBLISHED POSITION OF: NORTHING 2184023.83', EASTING 5795259.09'; AND POINT 50 "1133" HAVING A PUBLISHED POSITION OF: NORTHING 2187209.41', EASTING 5793097.48'. THE RESULTING BEARING FROM "1001" TO "1133" BEING: NORTH 34° 09' 32" WEST. THE BEARINGS SHOWN HEREON ARE REFERENCED TO CCS83, ZONE 5 GRID NORTH.
- ALL MEASUREMENTS LISTED, SHOWN AND REPRESENTED HEREON ARE BASED ON GRID DISTANCES OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 ZONE 5 PROJECTION. THE COMBINED SCALE FACTOR FOR THE PROJECT IS 0.999929623. THIS SCALE FACTOR WAS CALCULATED USING AN ELEVATION OF 73.26 FEET FOR PT. NO. 1. DIVIDE THE DISTANCES HEREON BY THE COMBINED SCALE FACTOR TO OBTAIN GROUND DISTANCES. ALL DISTANCES SHOWN ARE U.S. SURVEY FEET
- 5. THE CONVERGENCE ANGLE IS: -1° 28' 00.27" AT PT. NO. 1.
- THE ORTHOMETRIC HEIGHTS (ELEVATIONS) ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THIS SURVEY TIED TO THE POINT DESIGNATED AS PT. NO 50 "1133" ON THE RECORD OF SURVEY FOUND IN BOOK 147 AT PAGES 57 61 IN THE OFFICE OF THE RECORDER OF SANTA BARBARA CALIFORNIA, HAVING A PUBLISHED ELEVATION OF 88.68'.



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REVISIONS

SEAL

PROFESSIONAL

TO D. HADLELO

No. 80124

OF CALLEDRA

GUADALUPE LEROY PARK

PARKING LOT UPGRADE

DATE: 10/25/2024
PROJECT

4689 11TH STREET GUADALUPE,

CALIFORNIA 93434

CLIENT

CITY OF GUADALUPE

SHEET TITLE
GENERAL NOTES

DATE: 10/25/2024

PROJECT MANAGER: BDH

TECHNICIAN: CPK

JOB NUMBER: SHEET NUMBER

C-1.0

FILE NAME: 1521-03 HORZ.DWG LEGEND: For each of the second c15 L135 EXISTING COMMUNITY FUTURE PHASE 2 MULTI-USE BUILDING CENTER BUILDING 18.00' (TYP.) EXISTING COMPLIANT ADA ACCESSIBLE PARKING SPACES PREVIOUSLY PERMITTED EXISTING RESTROOM GRAPHIC SCALE (IN FEET) 1 IN = 20 FT

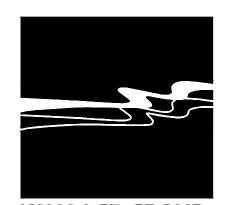
Line Table				
Line # Length		Direction		
L66	45.00	S28°59'48"W		
L67	27.00	S28°59'48"W		
L131	14.00	S61°00'12"E		
L133	14.00	N61°00'12"W		
L134	10.00	N28°59'48"E		
L135	14.00	S61°00'12"E		
L136	90.00	N28 ° 59'48"E		
L137	12.45	N61°00'12"W		
L138	13.77	N61°00'12"W		
L140	13.67	S61°00'12"E		
L196	207.00	S28*59'48"W		
L237	27.00	S28*59'48"W		

Curve Table				
Curve #	Length	Radius	Delta	
C111	37.42	50.00	42 ° 52'37"	
C112	37.53	52.00	41°21'15"	
C113	6.29	4.00	90°04'39"	
C114	6.28	4.00	90°00'00"	
C115	6.28	4.00	90°00'00"	
C116	7.61	4.00	108*58'01"	
C117	21.26	30.00	40°36'18"	
C118	229.13	45.00	291°42'43"	
C119	24.48	29.99	46°45'34"	
C120	6.59	4.00	94°26'47"	
C121	6.94	4.00	99*27'27"	
C122	15.98	28.00	32°42'05"	
C123	59.41	74.00	46*00'06"	



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REVISIONS	

SEAL



DATE: 10/25/2024

PROJECT
GUADALUPE LEROY PARK
PARKING LOT UPGRADE

4689 11TH STREET GUADALUPE, CALIFORNIA 93434

CLIENT

CITY OF GUADALUPE

SHEET TITLE
HORIZONTAL
CONTROL

DATE: 10/25/2024

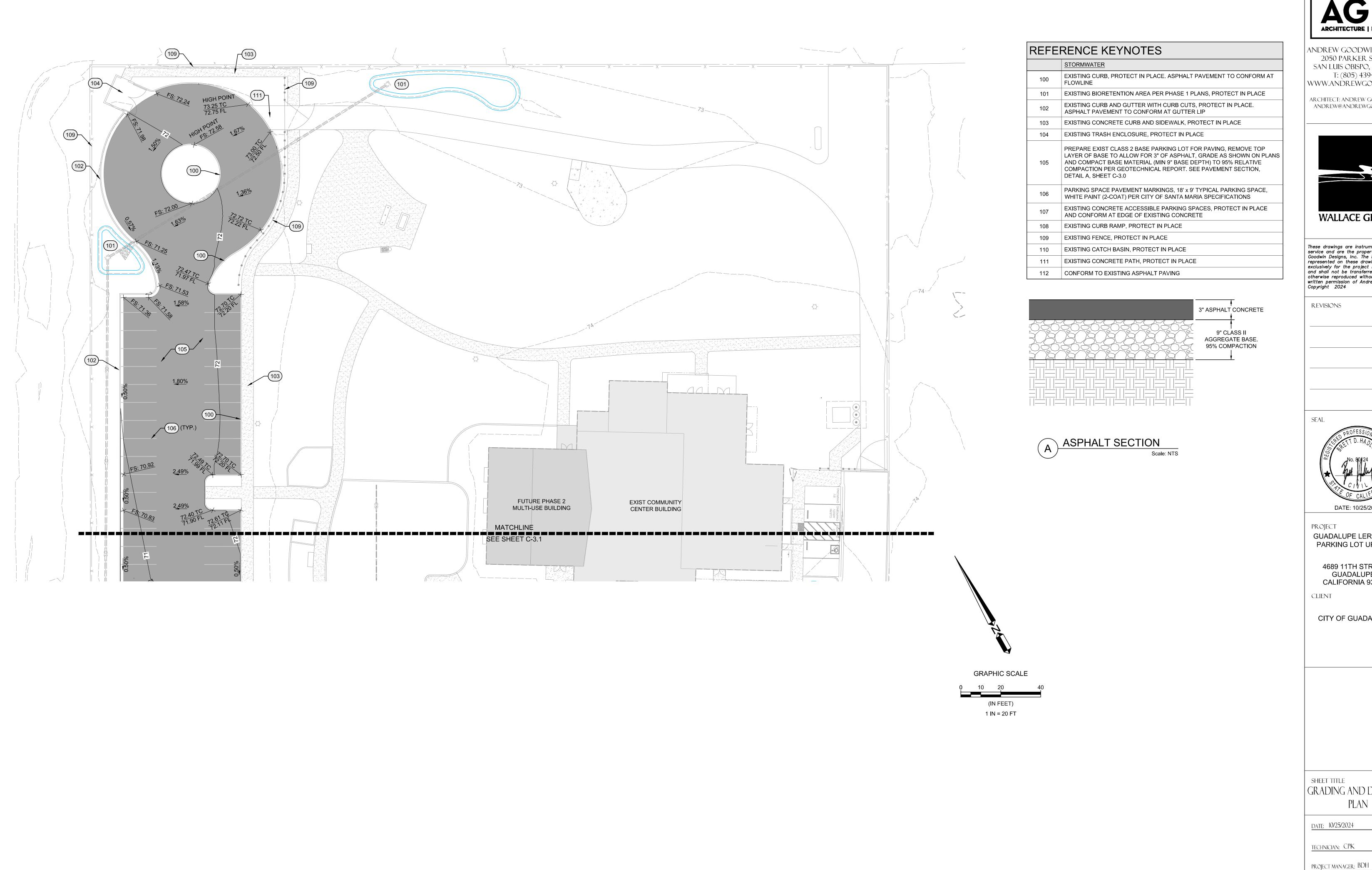
TECHNICIAN: CPK

project manager: BDH

JOB NUMBER:
SHEET NUMBER

C-2.0

EI NAVE



FILE NAME: 1521-03 GRAD.DWG



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GUADALUPE LEROY PARK PARKING LOT UPGRADE

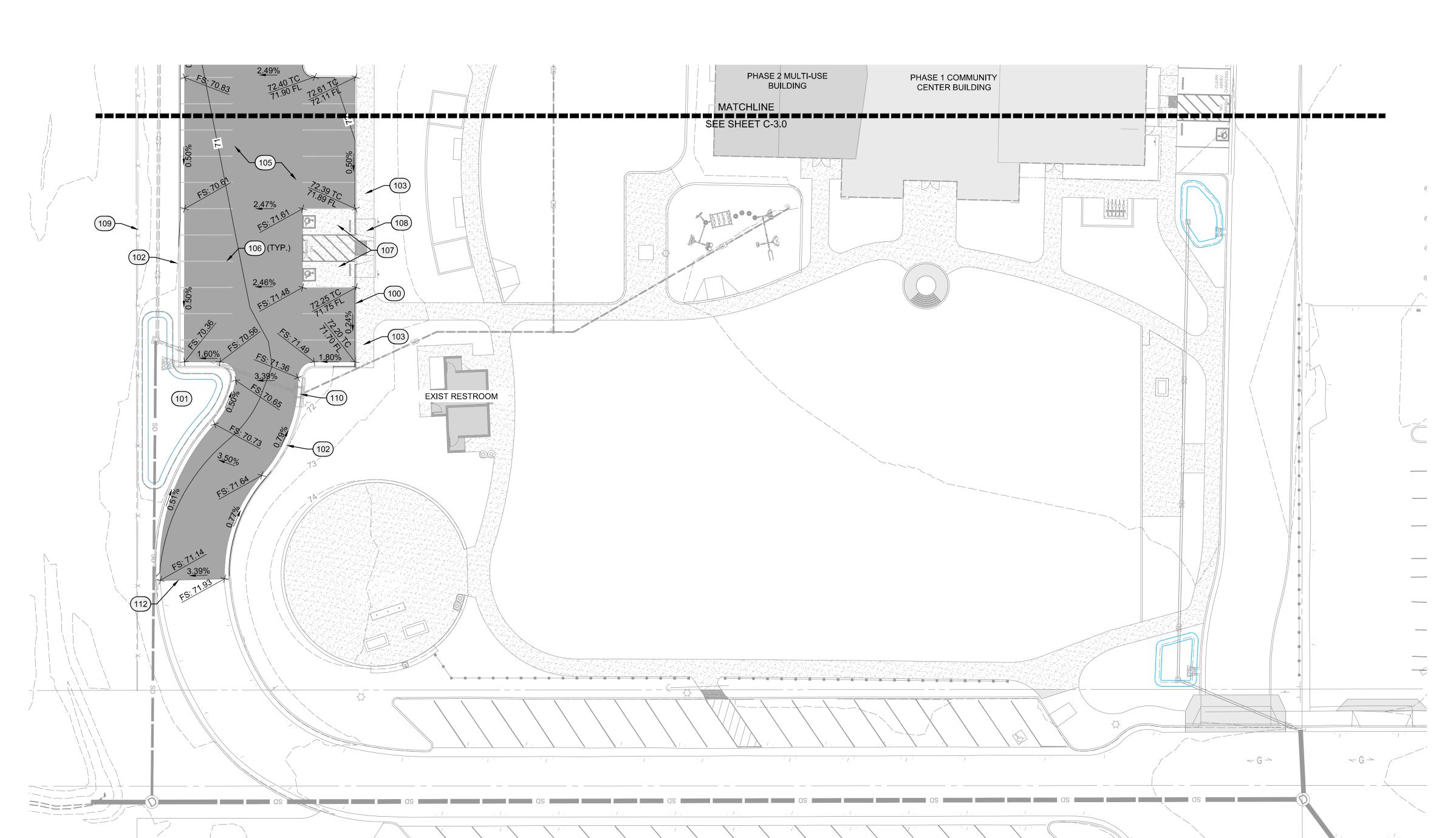
> 4689 11TH STREET GUADALUPE, CALIFORNIA 93434

CITY OF GUADALUPE

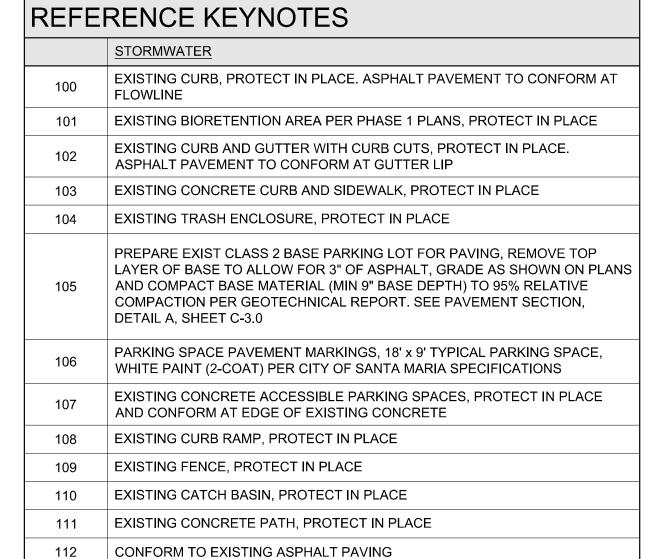
GRADING AND DRAINAGE PLAN

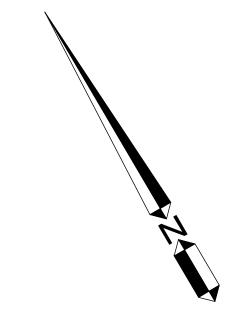
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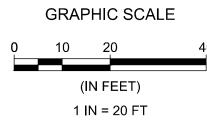
SHEET NUMBER C-3.0



FILE NAME: 1521-03 GRAD.DWG









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PROJECT GUADALUPE LEROY PARK PARKING LOT UPGRADE

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CLIENT

CITY OF GUADALUPE

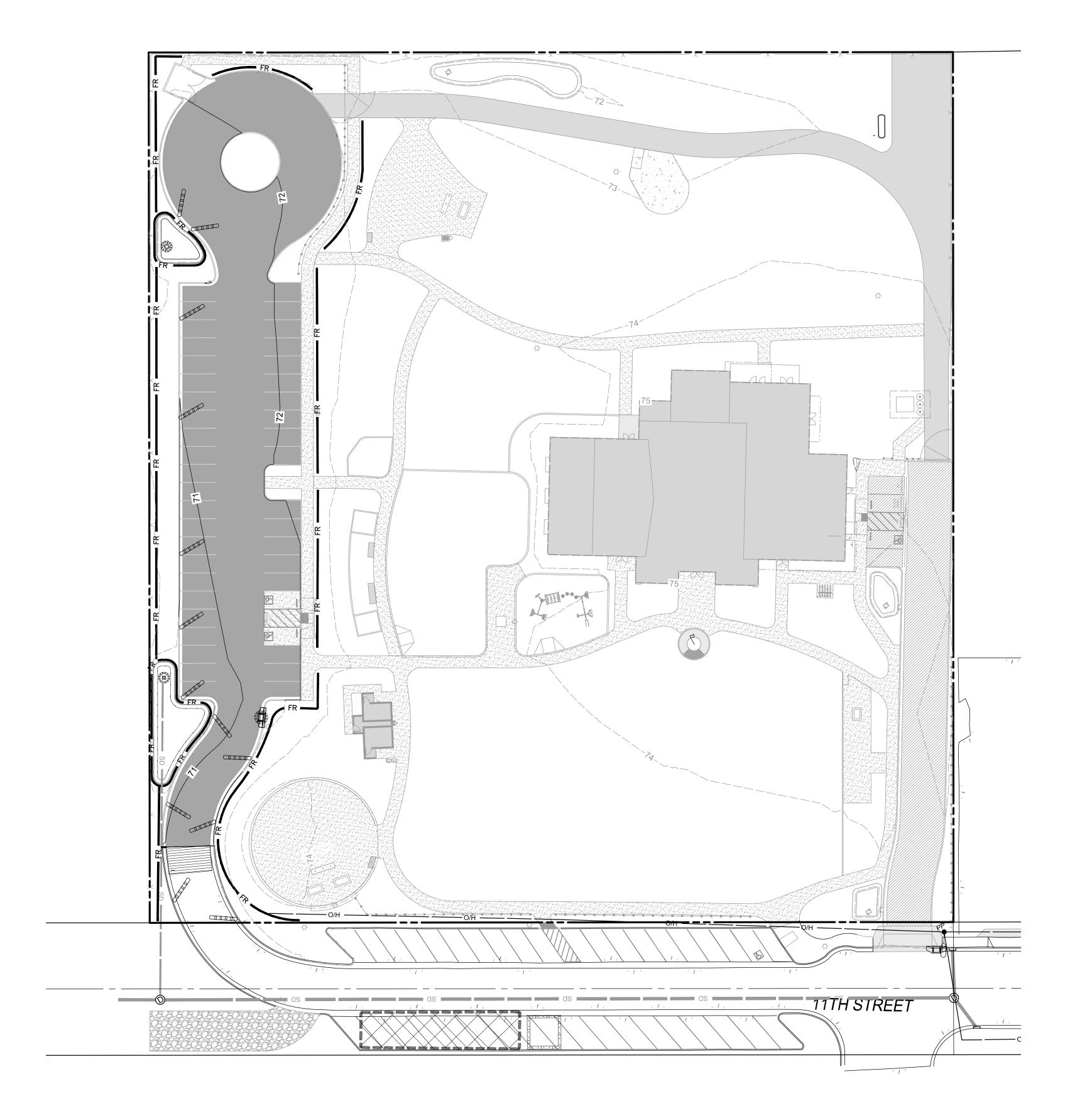
SHEET TITLE GRADING AND DRAINAGE PLAN

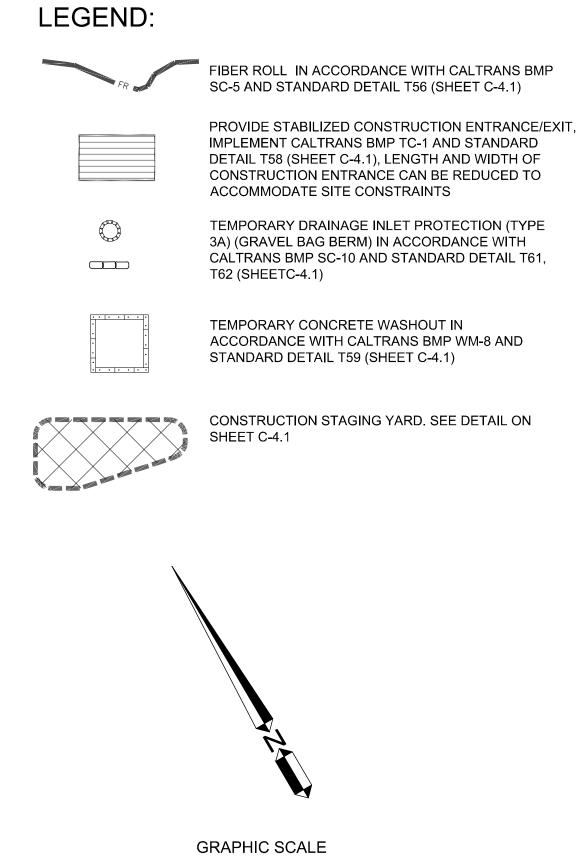
DATE: 10/25/2024

TECHNICIAN: CPK

PROJECT MANAGER: BDH SHEET NUMBER C-3.1







1 IN = 30 FT



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DATE: 10/25/2024

PROJECT GUADALUPE LEROY PARK PARKING LOT UPGRADE

4689 11TH STREET GUADALUPE, CALIFORNIA 93434

CLIENT

CITY OF GUADALUPE

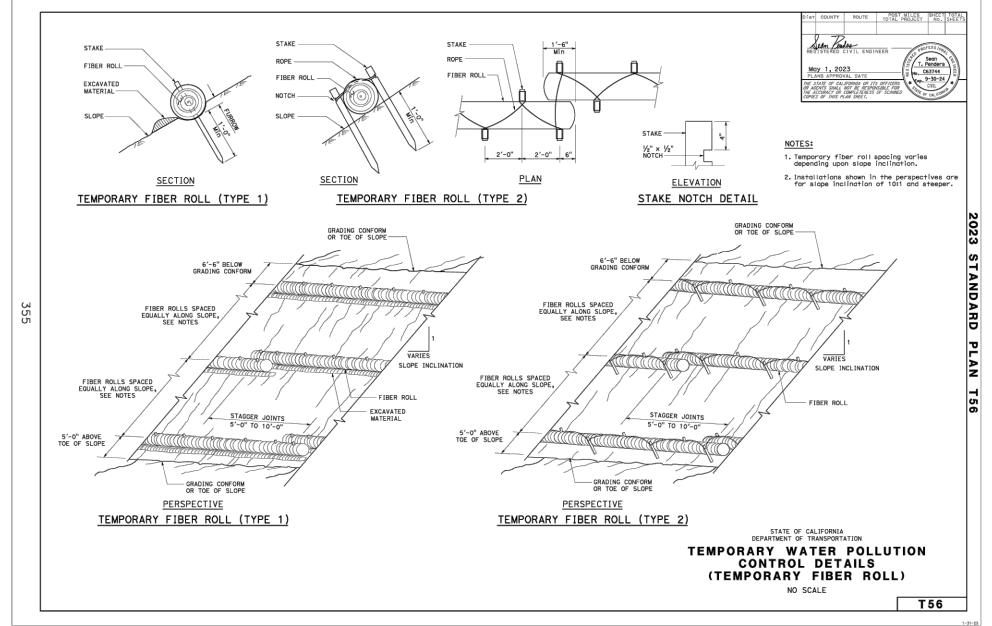
SHEET TITLE
EROSION CONTROL
PLAN

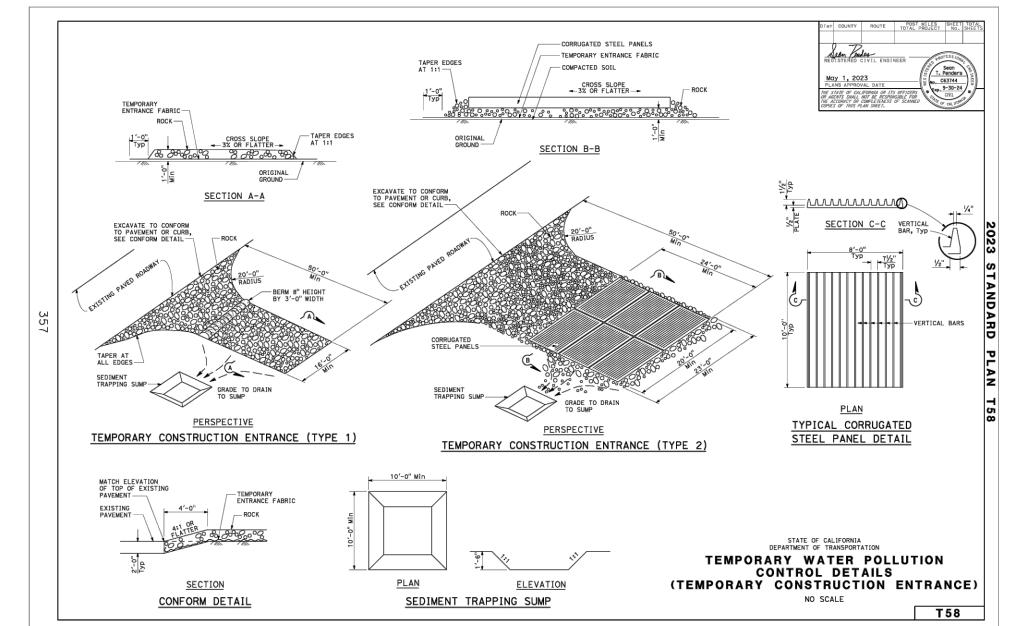
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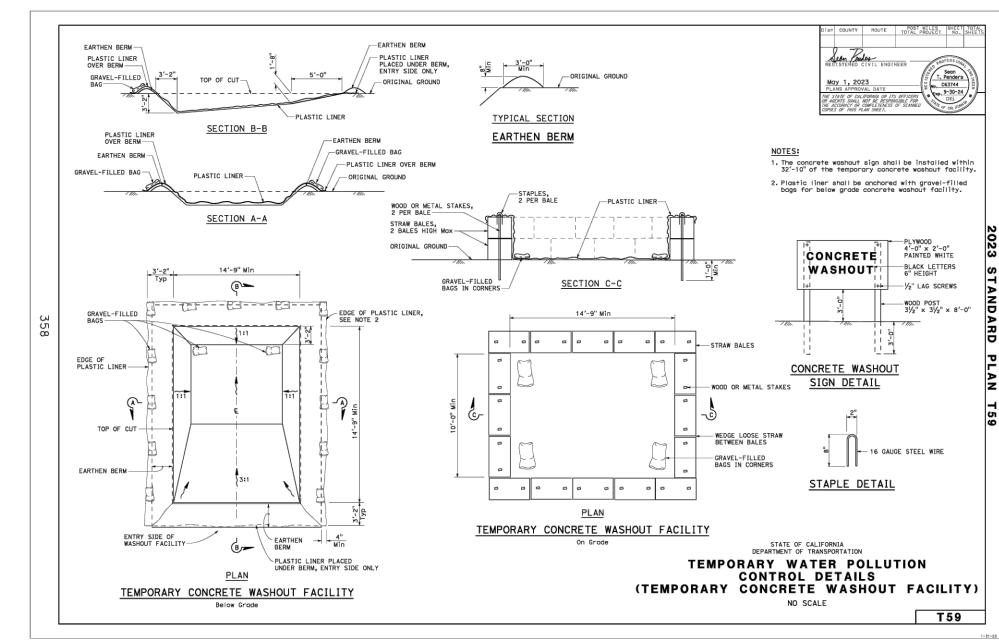
TECHNICIAN: CPK

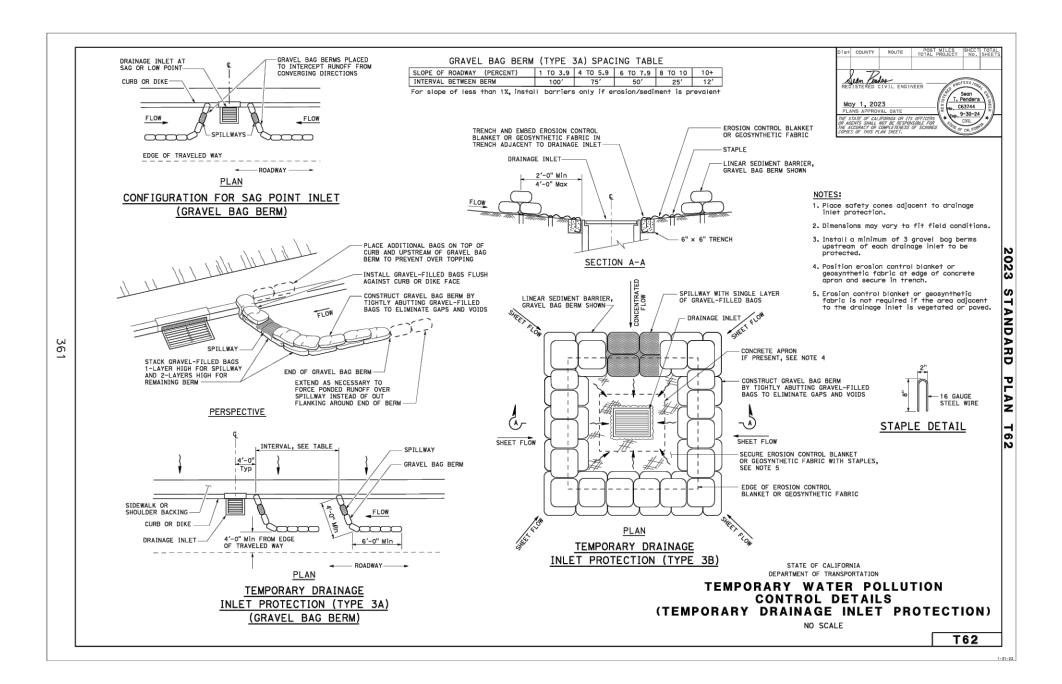
PROJECT MANAGER: BDH

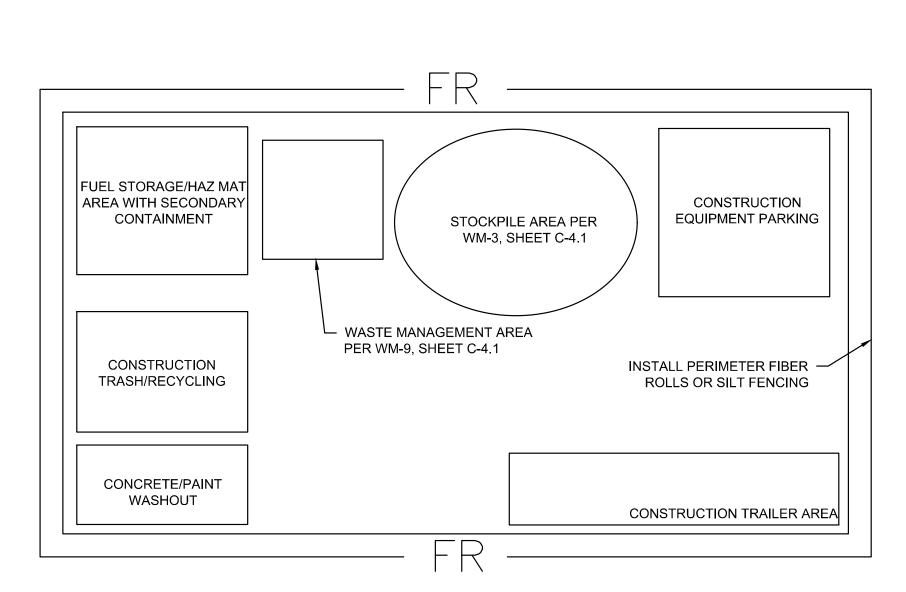
SHEET NUMBER C-4.0







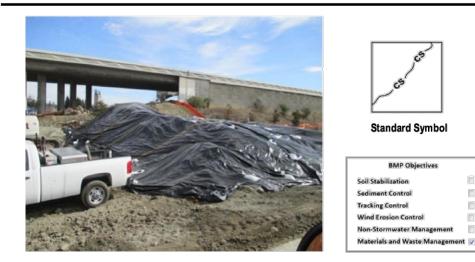




CONSTRUCTION STAGING AREA Scale: N.T.S.







Definition and Purpose

Stockpile management procedures and practices are designed to reduce or eliminate air and storm water pollution from stockpiles of soil, and paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate subbase or pre-mixed aggregate, asphalt

Appropriate Applications

Implemented in all projects that stockpile soil and other materials.

Limitations

Use of plastic cover might be restricted depending on the location of the site and regulatory permits.

Standards and Specifications

Stockpiles must comply with Standard Specification 13-4.03C (3) Stockpile Management.

Protection of stockpiles is a year-round requirement.

Locate stockpiles a minimum of 50 ft. away from concentrated flows of storm water, drainage courses, and

Utilize run-on and run-off BMPs to ensure stockpile materials are protected and do not have the potential to discharge material.

Implement wind erosion control practices as appropriate on all stockpiled material. For specific information see WE-1, "Wind Erosion Control."

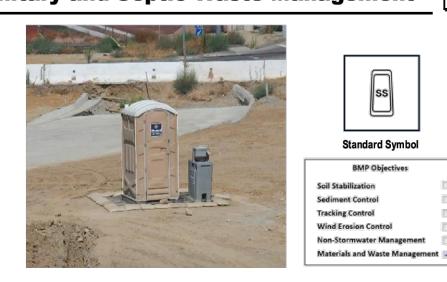


Sanitary and Septic Waste Management



Standard Symbol

BMP Objectives



Definition and Purpose

Procedures and practices to minimize or eliminate the discharge of construction site sanitary and septic waste materials to the storm drain system or to receiving waters.

Appropriate Applications

Sanitary/septic waste management practices are implemented on all construction sites that use temporary or portable sanitary and septic waste systems.

Limitations

None identified.

Standards and Specifications

Educate employees, subcontractors, and suppliers on sanitary and septic waste storage and disposal

Educate employees, subcontractors, and suppliers of potential dangers to humans and the environment from

Instruct employees, subcontractors, and suppliers in identification of sanitary/septic waste.

Hold regular meetings to discuss and reinforce disposal procedures (incorporate into regular safety meetings

and tailgates). Establish a continuing education program to indoctrinate new employees.

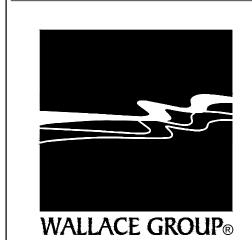
Caltrans Storm Water Quality Handbooks
Construction Site BMP Manual

Sanitary and Septic Waste Management WM-9

ARCHITECTURE | DESIGN

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REVISIONS

SEAL

DATE: 10/25/2024

PROJECT **GUADALUPE LEROY PARK** PARKING LOT UPGRADE

> 4689 11TH STREET GUADALUPE, CALIFORNIA 93434

CLIENT

CITY OF GUADALUPE

DETAILS

technician: CPK

DATE: 10/25/2024

SHEET TITLE

PROJECT MANAGER: BDH

JOB NUMBER: SHEET NUMBER C-4.1

EROSION CONTROL

GENERAL NOTES

- CALTRANS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP) MANUAL (DATED MAY 2017) "FACT SHEETS" SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REFER TO ORIGINAL CALTRANS CONSTRUCTION SITE BMP MANUAL (MAY 2017) FOR ENTIRE "FACT SHEET" INFORMATION AND DOCUMENTATION.