



City of Guadalupe

AGENDA

Regular Meeting of the Guadalupe City Council

Tuesday, January 28, 2025, at 6:00 pm
City Hall, 918 Obispo Street, Council Chambers

The City Council meeting will broadcast live streamed on the City of Guadalupe's Official YouTube channel: <https://www.youtube.com/channel/UCaxeHWd9JkmvKnGFU8BAYQQ>

If you choose not to attend the City Council meeting but wish to submit a written comment for the Community Participation Forum or on a specific agenda item, please submit via email to juana@ci.guadalupe.ca.us no later than 2:00 pm on Tuesday, January 28, 2025.

Please be advised that, pursuant to State Law, any member of the public may address the City Council concerning any item on the Agenda, before or during Council consideration of that item. If you wish to speak on any item on the agenda, including any item on the Consent Calendar or the Ceremonial Calendar, please submit a speaker request form for that item. If you wish to speak on a matter that is not on the agenda, please do so during the Community Participation Forum.

The Agenda and related Staff reports are available on the City's website: www.cityofguadalupe.org Friday before Council meeting.

Any documents produced by the City and distributed to a majority of the City Council regarding any item on this agenda will be made available the Friday before Council meetings at the Administration Office at City Hall 918 Obispo Street, Monday through Friday between 8:00 am and 4:00 pm, and also posted 72 hours prior to the meeting. The City may charge customary photocopying charges for copies of such documents. Any documents distributed to a majority of the City Council regarding any item on this agenda less than 72 hours before the meeting will be made available for inspection at the meeting and will be posted on the City's website and made available for inspection the day after the meeting at the Administrator Office at City Hall 918 Obispo Street, Monday through Friday between 8:00 am and 4:00 pm.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, including review of the Agenda and related documents, please contact the Administration Office at (805) 356.3891 at least 72 hours prior to the meeting. This will allow time for the City to make reasonable arrangements to ensure accessibility to the meeting.

1. **ROLL CALL:**

Council Member Eugene Costa Jr.
Council Member Whitney Furness
Council Member Amelia M. Villegas
Mayor Pro Tempore Christina Hernandez
Mayor Ariston Julian

2. **PLEDGE OF ALLEGIANCE**

3. **MOMENT OF THANKS, APPRECIATION OR CONDOLENCES.**

4. AGENDA REVIEW

At this time the City Council will review the order of business to be conducted and receive requests for, or make announcements regarding, any change(s) in the order of business.

5. COMMUNITY PARTICIPATION FORUM

Each person will be limited to a discussion of three (3) minutes or as directed by the Mayor. Pursuant to the provisions of the Brown Act, no action may be taken on these matters unless they are listed on the agenda, or unless certain emergency or special circumstances exist. City Council may direct staff to investigate and/or schedule certain matters for consideration at a future City Council meeting.

6. CONSENT CALENDAR (A-G)

The following items are presented for City Council approval without discussion as a single agenda item in order to expedite the meeting. Should a Council Member wish to discuss or disapprove an item, it must be dropped from the blanket motion of approval and considered as a separate item.

- A. Waive the reading in full of all Ordinances and Resolutions. Ordinances on the Consent Calendar will be adopted by the same vote cast as the first meeting unless City Council indicates otherwise.
- B. Approve payment of warrants for the period ending January 17, 2025.
- C. Approve the Minutes of the City Council regular meeting of January 14, 2025.
- D. Approve the appointment of Deborah Sykes to serve as the City representative on the Santa Barbara County Library Advisory Committee.
- E. Adopt on the second reading, Ordinance No. 2025-522, an ordinance establishing a \$50 stipend for each day the City Code Compliance Hearing Officer is required to hold hearings.
- F. Adopt Resolution No. 2025-03 approving an agreement with W.M. Lyles Co. to construct the Pioneer Lift Station Project and authorizing the reallocation of \$700,000 from the Wastewater Treatment Plant Project to the Pioneer Lift Station Project.
- G. Adopt Resolution No. 2025-04 accepting the Pasadera Development Lift Station as part of the City's public infrastructure to monitor and maintain.

MANAGEMENT REPORTS

7. CITY ADMINISTRATOR: *(Information Only)*

- A. City Administrator's report for January 28, 2025

8. DIRECTOR OF PUBLIC SAFETY: (Information Only)

- A. Director of Public Safety report for January 28, 2025
- B. Police Department report for December 2024
- C. Fire Department report for December 2024
- D. Code Compliance report for December 2024

PUBLIC HEARING

9. Consider a Conditional Use Permit 2024-054-CUP, to allow a vehicle tow and storage yard on a 4,750 square-foot property in the M-C (Industrial Commercial) zoning district at 301 Guadalupe Street (APN 115-163-013).

Written report: Bill Scott, Contract City Planner

Recommendation: That the City Council:

- a. Receive a presentation from staff; and
- b. Conduct a public hearing, including: 1) an opportunity for the applicant to present the proposed project; 2) receive any comments from the public; and
- c. Adopt Resolution No. 2025-05 approving the Conditional Use Permit 2024-054-CUP, including the requisite Findings, and a CEQA Class 1 Exemption.

10. Consider Map 29,071 a Tentative Parcel Map (2024-036-LS) to subdivide a 0.53-acre parcel into two lots located in the MIX (Mixed-Use) zoning district at 640 and 718 Guadalupe Street (APN 115-140-004).

Written report: Bill Scott, Contract City Planner

Recommendation: That the City Council:

- a. Receive a presentation from staff; and
- b. Conduct a public hearing, including: 1) an opportunity for the applicant to present the proposed project, 2) receive any comments from the public; and
- c. Adopt Resolution No. 2025-06 approving a Tentative Parcel Map 2024-036-LS, including the requisite Findings, a CEQA Class 15 Exemption, and the Conditions of Approval.

11. Consider a Design Review Permit (2024-057-DR) for the Eighth Street Apartments, a 7-unit multi-family development on a 0.75-acre property in the R-3 (High Density Residential) zoning district at 4646 Eighth Street (APN 115-121-010).

Written report: Bill Scott, Contract City Planner

Recommendation: That the City Council:

- a. Receive a presentation from staff; and
- b. Conduct a public hearing, including: 1) an opportunity for the applicant to present the proposed project, and 2) receive any comments from the public; and
- c. Adopt Resolution No. 2025-07 approving the Design Review Permit 2024-057-DR, for the Eighth Street Apartments, including the requisite Findings, a CEQA Exemption, and the Conditions of Approval.

REGULAR BUSINESS

- 12. Amendment No. 5 to the agreement for services between the City of Guadalupe and Andrew Goodwin Designs (AGD) to partially redesign the plaza area to match the new easements granted to Caltrans.**

Written report: Jeff van den Eikhof, City Engineer

Recommendation: That the City Council adopt Resolution No. 2025-08 approving Amendment No. 5 to the agreement with AGD to complete a partial redesign of the plaza area where it ties into the new Caltrans easement.

- 13. Explore consolidation of Guadalupe transit bus service with Santa Maria Regional Transit.**

Written report: Jeff van den Eikhof, City Engineer

Recommendation: That the City Council adopt Resolution No. 2025-09 authorizing City staff to explore consolidation of the Guadalupe Flyer with the Santa Maria Regional Transit (SMRT).

- 14. Granting consent to the County of Santa Barbara to establish the Santa Barbara County Wine Improvement District (SBCWID) and include the City of Guadalupe in the established SBCWID.**

Written report: Larry Appel, Planning Director

Recommendation: That the City Council adopt Resolution No. 2025-10 granting consent to the County of Santa Barbara to establish the Santa Barbara County Wine Improvement District (SBCWID) and include the City of Guadalupe in the established SBCWID.

- 15. EV charging station parking restrictions.**

Written report: Michael Cash, Director of Public Safety

Recommendation: That the City Council adopt Resolution No. 2025-11 to limit the amount of time an electric vehicle may stay parked in a designated EV charging station parking space on City property.

- 16. City Council appointments to various boards and committees.**

Written report: Todd Bodem, City Administrator

Recommendation: That the Mayor appoints City Council Members to various boards and committees representing the City of Guadalupe.

- 17. FUTURE AGENDA ITEMS**

- 18. ANNOUNCEMENTS – COUNCIL ACTIVITY/COMMITTEE REPORTS**

- 19. ADJOURNMENT**

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the City Hall display case and website not less than 72 hours prior to the meeting. Dated this 24th day of January 2025.

Todd Bodem

Todd Bodem, City Administrator

PROPOSED FUTURE CITY COUNCIL AGENDA ITEMS

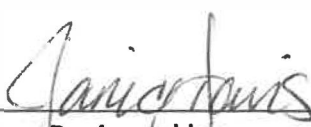
Council Meeting: Date and Subject	Department	Agenda Category	
Saturday, February 8, 2025, at 8:30 am. / Special Meeting (Social Club in Guadalupe)			
Goal Setting Workshop FY 24-25		Workshop	
Tuesday, February 11, 2025, at 6:00 p.m. / Regular Meeting			
AGD Royal Theater Redesign Presentation (100%)	AGD	Presentation	
Planning Department Appeal	Bill Scott, City Planner	Public Hearing	
Other Unscheduled Items	Proposed Date of Item	Department	Agenda Category
Gift Policy		City Attorney	New Business
Social Host Ordinance		City Attorney	New Business
Personnel Manual Update			New Business
Pasadera Development Annual Update	Jan. 2025	City Engineer	
Cross Connections Control Ordinance		City Attorney	New Business
Council roles and responsibilities			New Business
Water and Sewer Rate Study		City Administrator	New Business
Donate Life Proclamation	April 8, 2025		
Proclamation for local Guadalupe firefighters	February 11, 2025	City Administrator	Ceremonial Calendar




REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE
Agenda of January 28, 2025



Prepared by:
Veronica Fabian
Finance Account Clerk



Reviewed by:
Janice Davis
Finance Director



Approved by:
Todd Bodem
City Administrator

SUBJECT: Payment of warrants for the period ending January 17, 2025, to be ratified for payment by the City Council. Subject to having been certified as being in conformity with the budget by the Finance Department staff.

RECOMMENDATION:

That the City Council review and ratify the listing of hand checks and warrants to be paid on December 29, 2025.

BACKGROUND:

Submittal of the listing of warrants issued by the City to vendors for the period and explanations for disbursement of these warrants. An exception, such as an emergency hand check may be required to be issued and paid prior to submittal of the warrant listing, however, this warrant will be identified as "Ratify" on the warrant listing.



Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code				On Hold					

Vendor: [AGD01 - ANDREW GOODWIN DESIGNS](#)

Vendor Total: 38,889.90

825-03	Invoice	12/26/2024	12/26/2024	12/26/2024	12/26/2024	38,889.90	0.00	0.00	0.00	38,889.90
ADM - ROYAL THEATER PROJECT			Warr Bank Acct - Warrants Bank Account		No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
ADM - ROYAL THEATER PROJECT	NA	0.00	0.00	38,889.90	0.00	0.00	0.00	38,889.90

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
079-4542-2166	Activity		38,889.90	100.00%

Vendor: [AMA02 - AMAZON BUSINESS](#)

Vendor Total: 550.36

134K-9TL7-4QDF	Invoice	12/28/2024	12/28/2024	12/28/2024	12/28/2024	271.85	0.00	0.00	0.00	271.85
PD - ACCT#:A19RD4DAF93AUQ - LOBBY CHAIRS			Warr Bank Acct - Warrants Bank Account		No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
PD - ACCT#:A19RD4DAF93AUQ - LOBBY CHAIRS	NA	0.00	0.00	271.85	0.00	0.00	0.00	271.85

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
001-4200-1501	Equipment < or = \$5000		271.85	100.00%

17YM-7WH1-C763	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	93.13	0.00	0.00	0.00	93.13
FIRE - ACCT#:A19RD4DAF93AUQ			Warr Bank Acct - Warrants Bank Account		No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
FIRE - ACCT#:A19RD4DAF93AUQ	NA	0.00	0.00	93.13	0.00	0.00	0.00	93.13

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
001-4220-0450	Other Benefits		93.13	100.00%

19GV-DX7H-16T9	Invoice	1/7/2025	1/7/2025	1/7/2025	1/7/2025	18.04	0.00	0.00	0.00	18.04
FINANCE - ACCT#:A19RD4DAF93AUQ - 3 RING BINDERS			Warr Bank Acct - Warrants Bank Account		No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
FINANCE - ACCT#:A19RD4DAF93AUQ - 3 RING BINDERS	NA	0.00	0.00	18.04	0.00	0.00	0.00	18.04

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
001-4120-1200	Office Supplies & Postage		18.04	100.00%

1Q7X-D76J-7WVP	Invoice	1/8/2025	1/8/2025	1/8/2025	1/8/2025	24.60	0.00	0.00	0.00	24.60
FINANCE - ACCT#:A19RD4DAF93AUQ - ADVIL			Warr Bank Acct - Warrants Bank Account		No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
FINANCE - ACCT#:A19RD4DAF93AUQ - ADVIL	NA	0.00	0.00	24.60	0.00	0.00	0.00	24.60

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
001-4120-1200	Office Supplies & Postage		24.60	100.00%

1QJ7-RVJR-7XH4	Invoice	1/12/2025	1/12/2025	1/12/2025	1/12/2025	142.74	0.00	0.00	0.00	142.74
FIRE - ACCT#:A19RD4DAF93AUQ - 2 PACK MATTE GLASS			Warr Bank Acct - Warrants Bank Account		No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
49747	Invoice	1/14/2025	1/14/2025	1/14/2025	1/14/2025	1,467.70	0.00	0.00	0.00	1,467.70
FINANCE - 1.0 FT TINT										
Warr Bank Acct - Warrants Bank Account					No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
2 PACK MATTE GLASS PROTECTOR	NA	0.00	0.00	142.74	0.00	0.00	0.00	142.74		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4220-1550	Operating Supplies & Exp.		142.74	100.00%						

Vendor: [APE01 - APEX AUTO GLASS CORP](#) **Vendor Total:** 1,467.70

49747	Invoice	1/14/2025	1/14/2025	1/14/2025	1/14/2025	1,467.70	0.00	0.00	0.00	1,467.70
FINANCE - 1.0 FT TINT										
Warr Bank Acct - Warrants Bank Account					No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - 1.0 FT TINT	NA	0.00	0.00	1,467.70	0.00	0.00	0.00	1,467.70		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4120-2150	Professional services		1,467.70	100.00%						

Vendor: [ARC01 - ARCLIGHT MEDIA](#) **Vendor Total:** 539.00

12023	Invoice	12/1/2024	12/1/2024	12/1/2024	12/1/2024	170.00	0.00	0.00	0.00	170.00
ADM - CITYS WEBSITE MAINTENANCE NOV 2024										
Warr Bank Acct - Warrants Bank Account					No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - CITYS WEBSITE MAINTENANCE - NOV 2024	NA	0.00	0.00	170.00	0.00	0.00	0.00	170.00		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4140-2151	Information Technology Svs		170.00	100.00%						

12053	Invoice	12/1/2024	12/1/2024	12/1/2024	12/1/2024	100.00	0.00	0.00	0.00	100.00
ADM - COUNCIL CHAMBER AUDIO & VIDEO REVIEW										
Warr Bank Acct - Warrants Bank Account					No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - COUNCIL CHAMBER AUDIO & VIDEO REVIEW - ARPA	NA	0.00	0.00	100.00	0.00	0.00	0.00	100.00		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4140-2150	Professional Services		100.00	100.00%						

12085	Invoice	1/1/2025	1/1/2025	1/1/2025	1/1/2025	269.00	0.00	0.00	0.00	269.00
ADM - CITYS WEBSITE MAINTENANCE - DEC 2024										
Warr Bank Acct - Warrants Bank Account					No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - CITYS WEBSITE MAINTENANCE - DEC 2024	NA	0.00	0.00	269.00	0.00	0.00	0.00	269.00		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4140-2151	Information Technology Svs		269.00	100.00%						

Vendor: [BAD01 - BADAWI & ASSOCIATES](#) **Vendor Total:** 17,595.00

1697	Invoice	12/26/2024	12/26/2024	12/26/2024	12/26/2024	17,595.00	0.00	0.00	0.00	17,595.00
FINANCE - 2023 AUDIT										
Warr Bank Acct - Warrants Bank Account					No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - 2023 AUDIT	NA	0.00	0.00	5,865.00	0.00	0.00	0.00	5,865.00		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4140-2150	Professional Services		5,865.00	100.00%						

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description		Bank Code	On Hold							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - 2023 AUDIT Distributions	NA		0.00	0.00	5,865.00	0.00	0.00	0.00	5,865.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-2150	Professional Services				5,865.00	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - 2023 AUDIT Distributions	NA		0.00	0.00	5,865.00	0.00	0.00	0.00	5,865.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-2150	Professional Services				5,865.00	100.00%				

Vendor: [BEC02 - BERCHTOLD EQUIPMENT CO](#) **Vendor Total: 112.13**

023187	Invoice	12/27/2024	12/27/2024	12/27/2024	12/27/2024	112.13	0.00	0.00	0.00	112.13
BUILDING - NEW ROLLER WHEELS FOR SAFETY DECK		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - NEW ROLLER WHEELS FOR SAFETY DECK Distributions	NA		0.00	0.00	112.13	0.00	0.00	0.00	112.13	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4300-1550	Operating Supplies & Exp.				112.13	100.00%				

Vendor: [BIO01 - BIOALCHEMY INC.](#) **Vendor Total: 2,158.69**

1591	Invoice	1/1/2025	1/1/2025	1/1/2025	1/1/2025	2,158.69	0.00	0.00	0.00	2,158.69
WWTP - BIOAUGMENTATION		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WWTP - BIOAUGMENTATION Distributions	NA		0.00	0.00	2,158.69	0.00	0.00	0.00	2,158.69	
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-2150	Professional Services				2,158.69	100.00%				

Vendor: [BOY04 - BOYS & GIRLS CLUBS OF MID](#) **Vendor Total: 360.00**

INV00140	Invoice	1/8/2025	1/8/2025	1/8/2025	1/8/2025	360.00	0.00	0.00	0.00	360.00
BUILDING - DEC 2024 YARD MAINTENANCE REIMBURSEMENT		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - DEC 2024 YARD MAINTENANCE REIMBURSEMENT Distributions	NA		0.00	0.00	360.00	0.00	0.00	0.00	360.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4300-2150	Professional services				360.00	100.00%				

Vendor: [BVI01 - BELLA VISTA INVESTIGATIVE SERVICES](#) **Vendor Total: 800.00**

GUAD-250001	Invoice	1/3/2025	1/3/2025	1/3/2025	1/3/2025	800.00	0.00	0.00	0.00	800.00
PD - OFFICER RECRUIT BACKGROUND INVESTIGATION		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
NATHN QUINTERO Distributions	NA		0.00	0.00	800.00	0.00	0.00	0.00	800.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4200-2350	Services by other Agencies				800.00	100.00%				

Vendor: [CAL19 - CALPORTLAND CONSTRUCTION](#) **Vendor Total: 484.18**

Payable Register

Packet: APPKT00459 - 01.28.25 BIWEEKLY RUN

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
96613898	Invoice	1/7/2025	1/7/2025	1/7/2025	1/7/2025	255.42	0.00	0.00	0.00	255.42
STREETS - GAREY FILL SAND		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
PW - GAREY FILL SAND	NA	0.00	0.00	255.42	0.00	0.00	0.00	255.42

Account Number	Account Name	Project Account Key	Amount	Percent
071-4454-1550	Operating Supplies & Exp.		255.42	100.00%

96613899	Invoice	1/7/2025	1/7/2025	1/7/2025	1/7/2025	228.76	0.00	0.00	0.00	228.76
STREETS - TRUCK RENTAL ONLY		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - TRUCK RENTAL ONLY	NA	0.00	0.00	228.76	0.00	0.00	0.00	228.76

Account Number	Account Name	Project Account Key	Amount	Percent
071-4454-1550	Operating Supplies & Exp.		228.76	100.00%

Vendor: [CEN11 - CENTRAL CITY TOOL SUPPLY](#)

Vendor Total: 761.23

122981	Invoice	1/13/2025	1/13/2025	1/13/2025	1/13/2025	761.23	0.00	0.00	0.00	761.23
STREETS - TRIMMER LOOP HDL		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - TRIMMER LOOP HDL	NA	0.00	0.00	761.23	0.00	0.00	0.00	761.23

Account Number	Account Name	Project Account Key	Amount	Percent
071-4454-1550	Operating Supplies & Exp.		761.23	100.00%

Vendor: [CIT08 - CITY OF GUADALUPE \(FINANC](#)

Vendor Total: 14,898.20

01222025	Invoice	1/22/2025	1/22/2025	1/22/2025	1/22/2025	14,898.20	0.00	0.00	0.00	14,898.20
FINANCE - UTILITY BILLS		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
FINANCE - UTILITY BILLS	NA	0.00	0.00	4,459.10	0.00	0.00	0.00	4,459.10

Account Number	Account Name	Project Account Key	Amount	Percent
012-4425-1000	Utilities		4,459.10	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
FINANCE - UTILITY BILLS	NA	0.00	0.00	213.90	0.00	0.00	0.00	213.90

Account Number	Account Name	Project Account Key	Amount	Percent
071-4454-1000	Utilities		213.90	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
FINANCE - UTILITY BILLS	NA	0.00	0.00	6,822.28	0.00	0.00	0.00	6,822.28

Account Number	Account Name	Project Account Key	Amount	Percent
001-4300-1000	Utilities		6,822.28	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
FINANCE - UTILITY BILLS	NA	0.00	0.00	142.60	0.00	0.00	0.00	142.60

Account Number	Account Name	Project Account Key	Amount	Percent
060-4490-1000	Utilities		142.60	100.00%

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code					On Hold				
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - UTILITY BILLS Distributions	NA	0.00	0.00	771.37	0.00	0.00	0.00	771.37		
Account Number	Account Name	Project	Account Key	Amount	Percent					
001-4145-1000	Utilities			771.37	100.00%					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - UTILITY BILLS Distributions	NA	0.00	0.00	93.26	0.00	0.00	0.00	93.26		
Account Number	Account Name	Project	Account Key	Amount	Percent					
079-4542-1000	Utilities			93.26	100.00%					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - UTILITY BILLS Distributions	NA	0.00	0.00	931.93	0.00	0.00	0.00	931.93		
Account Number	Account Name	Project	Account Key	Amount	Percent					
063-4472-1000	Utilities			931.93	100.00%					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - UTILITY BILLS Distributions	NA	0.00	0.00	1,463.76	0.00	0.00	0.00	1,463.76		
Account Number	Account Name	Project	Account Key	Amount	Percent					
063-4472-1000	Utilities			1,463.76	100.00%					

Vendor: [CIT14 - CITY OF SANTA MARIA - FINANCE DIVISION](#)

Vendor Total: 7,236.31

101559	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	6,210.25	0.00	0.00	0.00	6,210.25
PD & FIRE DISPATCH - DEC 2024		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
PD & FIRE DISPATCH - DEC 2024 Distributions	NA	0.00	0.00	4,197.16	0.00	0.00	0.00	4,197.16		
Account Number	Account Name	Project	Account Key	Amount	Percent					
001-4200-2350	Services by other Agencies			4,197.16	100.00%					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
PD & FIRE DISPATCH - DEC 2024 Distributions	NA	0.00	0.00	2,013.09	0.00	0.00	0.00	2,013.09		
Account Number	Account Name	Project	Account Key	Amount	Percent					
001-4220-2350	Services by other Agencies			2,013.09	100.00%					

101580	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	1,026.06	0.00	0.00	0.00	1,026.06
PD - ACCOUNTS RECEIVABLE BILLINGS- DEC 2024		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
PD - ACCOUNTS RECEIVABLE BILLINGS- DEC 2024 Distributions	NA	0.00	0.00	1,026.06	0.00	0.00	0.00	1,026.06		
Account Number	Account Name	Project	Account Key	Amount	Percent					
001-4200-2350	Services by other Agencies			1,026.06	100.00%					

Vendor: [CLI01 - CLIN.LAB-SAN BERNADINO IN](#)

Vendor Total: 2,254.50

1008838	Invoice	10/9/2024	10/9/2024	10/9/2024	10/9/2024	288.00	0.00	0.00	0.00	288.00
WATER - WATER ANALYSIS - SEPT 2024		Warr Bank Acct - Warrants Bank Account			No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description										
Items		Bank Code		On Hold						
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER - WATER ANALYSIS - SEPT 2024	NA		0.00	0.00	288.00	0.00	0.00	0.00	288.00	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-2150	Professional Services				288.00	100.00%				
1010512	Invoice	12/19/2024	12/19/2024	12/19/2024	12/19/2024	324.00	0.00	0.00	0.00	324.00
WATER - WATER ANALYSIS - NOV 2024 Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER - WATER ANALYSIS - NOV 2024	NA		0.00	0.00	324.00	0.00	0.00	0.00	324.00	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-2150	Professional Services				324.00	100.00%				
2402025-GUA03	Invoice	12/16/2024	12/16/2024	12/16/2024	12/16/2024	1,642.50	0.00	0.00	0.00	1,642.50
WWTP - LAB WORK Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WWTP - LAB WORK	NA		0.00	0.00	1,642.50	0.00	0.00	0.00	1,642.50	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-2150	Professional Services				1,642.50	100.00%				

Vendor: [COR01 - CORBIN WILLITS SYSTEM COR](#) Vendor Total: 1,494.24

000C411151	Invoice	11/15/2024	11/15/2024	11/15/2024	11/15/2024	747.12	0.00	0.00	0.00	747.12
FINANCE - ENHANCEMENT AND SERVICE FEES Warr Bank Acct - Warrants Bank Account No										

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE	NA		0.00	0.00	194.25	0.00	0.00	0.00	194.25	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4120-2150	Professional services				194.25	100.00%				

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER	NA		0.00	0.00	276.44	0.00	0.00	0.00	276.44	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-2150	Professional Services				276.44	100.00%				

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WASTE WATER	NA		0.00	0.00	276.43	0.00	0.00	0.00	276.43	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-2150	Professional Services				276.43	100.00%				

000C412151	Invoice	12/15/2024	12/15/2024	12/15/2024	12/15/2024	747.12	0.00	0.00	0.00	747.12
FINANCE - ENHANCEMENT AND SERVICE FEES Warr Bank Acct - Warrants Bank Account No										

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE	NA		0.00	0.00	194.25	0.00	0.00	0.00	194.25	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4120-2150	Professional services				194.25	100.00%				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code				On Hold					
Item Description	Commodity		Units	Price		Amount	Tax	Shipping	Discount	Total
WATER Distributions	NA		0.00	0.00		276.44	0.00	0.00	0.00	276.44
Account Number	Account Name		Project Account Key			Amount	Percent			
010-4420-2150	Professional Services					276.44	100.00%			
Item Description	Commodity		Units	Price		Amount	Tax	Shipping	Discount	Total
WASTE WATER Distributions	NA		0.00	0.00		276.43	0.00	0.00	0.00	276.43
Account Number	Account Name		Project Account Key			Amount	Percent			
012-4425-2150	Professional Services					276.43	100.00%			

Vendor: [CUL01 - CULLIGAN/CENTRAL COAST WA](#) **Vendor Total:** 84.92

118126	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	44.92	0.00	0.00	0.00	44.92
FINANCE - 5 GALLON DELIVERY		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - 5 GALLON DELIVERY Distributions	NA	0.00	0.00	44.92	0.00	0.00	0.00	44.92	
Account Number	Account Name		Project Account Key			Amount	Percent		
107-4018-2150	Profl Services					44.92	100.00%		

118735	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	40.00	0.00	0.00	0.00	40.00
PD - DI 9" STONGBASE TANK RENTAL		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - DI 9" STONGBASE TANK RENTAL Distributions	NA	0.00	0.00	40.00	0.00	0.00	0.00	40.00	
Account Number	Account Name		Project Account Key			Amount	Percent		
001-4200-1550	Operating Supplies & Exp.					40.00	100.00%		

Vendor: [D&C01 - DEERE & COMPANY STRATEGIC ACCOUNTS BUSINESS DIVISION & GOVERNMENT SALES](#) **Vendor Total:** 25,978.04

117701815	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	25,978.04	0.00	0.00	0.00	25,978.04
BUILDING - ARPA - TURN LAWN MOWER		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - ARPA - TURN LAWN MOWER Distributions	NA	0.00	0.00	25,978.04	0.00	0.00	0.00	25,978.04	
Account Number	Account Name		Project Account Key			Amount	Percent		
001-4300-1550	Operating Supplies & Exp.					25,978.04	100.00%		

Vendor: [DEP09 - DEPARTMENT OF JUSTICE](#) **Vendor Total:** 155.00

782280	Invoice	12/4/2024	12/4/2024	12/4/2024	12/4/2024	15.00	0.00	0.00	0.00	15.00
PD - FED LVL VOLTEER -BILLED		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - FED LVL VOLTEER -BILLED Distributions	NA	0.00	0.00	15.00	0.00	0.00	0.00	15.00	
Account Number	Account Name		Project Account Key			Amount	Percent		
001-4200-2350	Services by other Agencies					15.00	100.00%		

785866	Invoice	12/23/2024	12/23/2024	12/23/2024	12/23/2024	140.00	0.00	0.00	0.00	140.00
PD - BLOOD ALCOHOL ANALYSIS		Warr Bank Acct - Warrants Bank Account			No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description										
Items										
Item Description	Bank Code		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
PD - BLOOD ALCOHOL ANALYSIS	NA			0.00	0.00	140.00	0.00	0.00	0.00	140.00
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4200-2350	Services by other Agencies				140.00	100.00%				

Vendor: [DOU01 - DOUGLAS DOORS](#) **Vendor Total:** 1,547.39

[242380](#) Invoice 1/14/2025 1/14/2025 1/14/2025 1/14/2025 1,547.39 0.00 0.00 0.00 1,547.39

BUILDING - HOLLOW METAL DOOR, METAL FRAME, BUTTON Warr Bank Acct - Warrants Bank Account No

Items										
Item Description	Bank Code		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
BUILDING - HOLLOW METAL DOOR, METAL FRAME, BUTTON	NA			0.00	0.00	1,547.39	0.00	0.00	0.00	1,547.39
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4145-2150	Professional Services				1,547.39	100.00%				

Vendor: [DTC01 - DONAHUE TRUCK CENTERS](#) **Vendor Total:** 2,100.18

[INV-SM-84143](#) Invoice 11/8/2024 11/8/2024 11/8/2024 11/8/2024 2,100.18 0.00 0.00 0.00 2,100.18

FIRE - TRANSMISSION IS HAVING ISSUES Warr Bank Acct - Warrants Bank Account No

Items										
Item Description	Bank Code		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
FIRE - TRANSMISSION IS HAVING ISSUES PUMP SYSTEM	NA			0.00	0.00	2,100.18	0.00	0.00	0.00	2,100.18
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4220-1460	Vehicle Maintenance				2,100.18	100.00%				

Vendor: [EIK01 - EIKHOF DESIGN GROUP INC.](#) **Vendor Total:** 24,005.00

[2025-001](#) Invoice 1/6/2025 1/6/2025 1/6/2025 1/6/2025 2,090.00 0.00 0.00 0.00 2,090.00

ADM - GENERAL CITY ENGINEERING Warr Bank Acct - Warrants Bank Account No

Items										
Item Description	Bank Code		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
ADM - GENERAL CITY ENGINEERING	NA			0.00	0.00	627.00	0.00	0.00	0.00	627.00
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-2150	Professional Services				627.00	100.00%				

Items										
Item Description	Bank Code		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
ADM - GENERAL CITY ENGINEERING	NA			0.00	0.00	627.00	0.00	0.00	0.00	627.00
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-2150	Professional Services				627.00	100.00%				

Items										
Item Description	Bank Code		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
ADM - GENERAL CITY ENGINEERING	NA			0.00	0.00	627.00	0.00	0.00	0.00	627.00
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
071-4454-2150	Professional Services				627.00	100.00%				

Items										
Item Description	Bank Code		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
ADM - GENERAL CITY ENGINEERING	NA			0.00	0.00	209.00	0.00	0.00	0.00	209.00
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
023-4461-2150	Professional Services				209.00	100.00%				

Payable Register

Packet: APPKT00459 - 01.28.25 BIWEEKLY RUN

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
2025-002	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	3,675.00	0.00	0.00	0.00	3,675.00
STREETS - 2025 PAVEMENT REHABILITATION		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - 2025 PAVEMENT REHABILITATION	NA	0.00	0.00	3,675.00	0.00	0.00	0.00	3,675.00

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
089-4444-3069	Street Rehab FY24 (089-312)		3,675.00	100.00%

2025-003	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	2,185.00	0.00	0.00	0.00	2,185.00
STREETS - AMTRAK TRANSIT HUB		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - AMTRAK TRANSIT HUB	NA	0.00	0.00	2,185.00	0.00	0.00	0.00	2,185.00

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
089-4444-3097	Amtrak Station Rehab Design		2,185.00	100.00%

2025-004	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	665.00	0.00	0.00	0.00	665.00
STREETS - HWY 1 LIFT STATION		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - HWY 1 LIFT STATION	NA	0.00	0.00	665.00	0.00	0.00	0.00	665.00

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
089-4444-3084	Hwy 1 Lift Station		665.00	100.00%

2025-005	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	665.00	0.00	0.00	0.00	665.00
STREETS - CALTRANS PROJECTS		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - CALTRANS PROJECTS	NA	0.00	0.00	665.00	0.00	0.00	0.00	665.00

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
071-4454-2150	Professional Services		665.00	100.00%

2025-006	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	190.00	0.00	0.00	0.00	190.00
STREETS - CENTRAL PARK PROJECT		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - CENTRAL PARK PROJECT	NA	0.00	0.00	190.00	0.00	0.00	0.00	190.00

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
089-4444-3053	Central Park (089-205)		190.00	100.00%

2025-007	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	380.00	0.00	0.00	0.00	380.00
STREETS- ROYAL THEATER		Warr Bank Acct - Warrants Bank Account			No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS- ROYAL THEATER	NA	0.00	0.00	380.00	0.00	0.00	0.00	380.00

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
089-4444-3050	Royal Theater (089-109)		380.00	100.00%

2025-008	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	95.00	0.00	0.00	0.00	95.00
STREETS - LEROY PARK PHASE II		Warr Bank Acct - Warrants Bank Account			No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code					On Hold				
2025-009	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	1,092.50	0.00	0.00	0.00	1,092.50
STREETS - CITY HALL REPAIR PROJECT Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS - LEROY PARK PHASE II Distributions	NA	0.00	0.00	95.00	0.00	0.00	0.00	0.00	95.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
089-4444-3054	LeRoy Park Phase 2 (089-204)				95.00	100.00%				
2025-010	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	1,900.00	0.00	0.00	0.00	1,900.00
STREETS - CITY HALL REPAIR PROJECT Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS - CITY HALL REPAIR PROJECT Distributions	NA	0.00	0.00	1,092.50	0.00	0.00	0.00	0.00	1,092.50	
Account Number	Account Name	Project Account Key			Amount	Percent				
089-4444-3075	Building Improvements (089-108)				1,092.50	100.00%				
2025-011	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	1,900.00	0.00	0.00	0.00	1,900.00
STREETS - PIONEER LIFT STATION Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS - PIONEER LIFT STATION Distributions	NA	0.00	0.00	1,900.00	0.00	0.00	0.00	0.00	1,900.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
089-4444-3082	Pioneer Lift Station (089-511)				1,900.00	100.00%				
2025-012	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	760.00	0.00	0.00	0.00	760.00
STREETS - 303 OBISPO EV/BUS CHARGING Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS - 303 OBISPO EV/BUS CHARGING Distributions	NA	0.00	0.00	760.00	0.00	0.00	0.00	0.00	760.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
089-4444-3104	308 Obispo Street Site Improvemen...				760.00	100.00%				
2025-013	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	3,040.00	0.00	0.00	0.00	3,040.00
STREETS - MEASURE A MISCELLANEOUS Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS - MEASURE A MISCELLANEOUS Distributions	NA	0.00	0.00	3,040.00	0.00	0.00	0.00	0.00	3,040.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-2150	Professional Services				3,040.00	100.00%				
2025-014	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	665.00	0.00	0.00	0.00	665.00
STREETS - PASADERA Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS - PASADERA Distributions	NA	0.00	0.00	665.00	0.00	0.00	0.00	0.00	665.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-2004	D.J. FARMS				665.00	100.00%				
2025-015	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	1,377.50	0.00	0.00	0.00	1,377.50
ADM - DEVELOPEMENT MISC Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
DANIEL LOPEZ LOT LINE ADJUSTMENT Distributions	NA	0.00	0.00	475.00	0.00	0.00	0.00	0.00	475.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-2055	Guadalupe H-2A Housing "Lopez C...				475.00	100.00%				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
TRUDY BRANDS Distributions	NA		0.00	0.00	285.00	0.00	0.00	0.00	285.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-2048	Building Permit Deposits		2022-088-VM		285.00	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
SHALLANBERGER LOT SPLIT Distributions	NA		0.00	0.00	95.00	0.00	0.00	0.00	95.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-2048	Building Permit Deposits		2024-036-LS		95.00	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
4646 8TH ST APARTMENTS TINA MUKAI Distributions	NA		0.00	0.00	285.00	0.00	0.00	0.00	285.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-2048	Building Permit Deposits		2024-057-DR		285.00	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
301 GUADALUPE ST CENTRAL CITY TOWING STORAGE YARD Distributions	NA		0.00	0.00	142.50	0.00	0.00	0.00	142.50	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-2048	Building Permit Deposits		2024-054-CUP		142.50	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
SOCAL GAS/CALTRANS ENCROACHMENT PERMIT Distributions	NA		0.00	0.00	95.00	0.00	0.00	0.00	95.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4405-2150	Professional Services				95.00	100.00%				
2025-015	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	190.00	0.00	0.00	0.00	190.00
STREETS - ESCALANTE MEADOWS					Warr Bank Acct - Warrants Bank Account	No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ESCALANTE MEADOWS Distributions	NA		0.00	0.00	190.00	0.00	0.00	0.00	190.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-2271	Guadalupe Ranch Acres				190.00	100.00%				
2025-016	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	4,275.00	0.00	0.00	0.00	4,275.00
STREETS - CITY HALL BASKETBALL COURTS					Warr Bank Acct - Warrants Bank Account	No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - CITY HALL BASKETBALL COURTS Distributions	NA		0.00	0.00	4,275.00	0.00	0.00	0.00	4,275.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
089-4444-3075	Building Improvements (089-108)				4,275.00	100.00%				
2025-017	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	760.00	0.00	0.00	0.00	760.00
STREETS - LEROY PARK PARKING LOT PROJECT					Warr Bank Acct - Warrants Bank Account	No				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code	On Hold								
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
STREETS - LEROY PARK PARKING LOT PROJECT Distributions	NA	0.00	0.00	760.00	0.00	0.00	0.00	760.00		
Account Number	Account Name	Project Account Key			Amount	Percent				
089-4444-3051	Leroy Park				760.00	100.00%				

Vendor: [ERE01 - ER ELECTRIC & MECHANICAL](#) **Vendor Total: 1,792.51**

1649	Invoice	1/3/2025	1/3/2025	1/3/2025	1/3/2025	656.25	0.00	0.00	0.00	656.25
012-4425-2150	Warr Bank Acct - Warrants Bank Account				No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
012-4425-2150 Distributions	NA	0.00	0.00	656.25	0.00	0.00	0.00	656.25		
Account Number	Account Name	Project Account Key			Amount	Percent				
012-4425-2150	Professional Services				656.25	100.00%				

[1652](#) Invoice 1/10/2025 1/10/2025 1/10/2025 1/10/2025 1,136.26 0.00 0.00 0.00 1,136.26

WWTP - TORNADO ARRIATOR Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WWTP - TORNADO ARRIATOR Distributions	NA	0.00	0.00	1,136.26	0.00	0.00	0.00	1,136.26		
Account Number	Account Name	Project Account Key			Amount	Percent				
012-4425-2150	Professional Services				1,136.26	100.00%				

Vendor: [ERN01 - ERNEST PACKAGING SOLUTION](#) **Vendor Total: 388.18**

91079219	Invoice	12/27/2024	12/27/2024	12/27/2024	12/27/2024	388.18	0.00	0.00	0.00	388.18
BUILDING - BETCO PH7 NEUTRAL DAILY FLOOR CLNR	Warr Bank Acct - Warrants Bank Account				No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - BETCO PH7 NEUTRAL DAILY FLOOR CLNR Distributions	NA	0.00	0.00	388.18	0.00	0.00	0.00	388.18		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4300-1550	Operating Supplies & Exp.				388.18	100.00%				

Vendor: [FER02 - FERGUSON ENTERPRISES, INC.](#) **Vendor Total: 572.28**

5654404	Invoice	12/27/2024	12/27/2024	12/27/2024	12/27/2024	312.42	0.00	0.00	0.00	312.42
BUILDING - WATERSENTRY PLUS FLTR LK	Warr Bank Acct - Warrants Bank Account				No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - WATERSENTRY PLUS FLTR LK Distributions	NA	0.00	0.00	312.42	0.00	0.00	0.00	312.42		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4145-1550	Operating Supplies & Exp.				312.42	100.00%				

[5674783](#) Invoice 12/30/2024 12/30/2024 12/30/2024 12/30/2024 259.86 0.00 0.00 0.00 259.86

BUILDING - ELECTRONIC MDL Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - ELECTRONIC MDL Distributions	NA	0.00	0.00	259.86	0.00	0.00	0.00	259.86		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4300-1550	Operating Supplies & Exp.				259.86	100.00%				

Vendor: [FHS01 - FIRE HOSE SUPPLY.COM](#) **Vendor Total: 478.66**

Payable Register

Packet: APPKT00459 - 01.28.25 BIWEEKLY RUN

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
24230	Invoice	1/7/2025	1/7/2025	1/7/2025	1/7/2025	478.66	0.00	0.00	0.00	478.66
WWTP - 3" INCH SINGLE JACKET QUICK		Warr Bank Acct - Warrants Bank Account			No					
CAMLOCK HOSE										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WWTP - 3" INCH SINGLE JACKET QUICK	NA	0.00	0.00	478.66	0.00	0.00	0.00	478.66		
CAMLOCK HOSE										
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
012-4425-1550	Operating Supplies & Exp.		478.66	100.00%						

Vendor: [GAI01 - BILL GAINES AUDIO, INC.](#)

Vendor Total: 2,000.00

44526	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	2,000.00	0.00	0.00	0.00	2,000.00
ADM - AUDIO SYSTEM IN COUNCIL		Warr Bank Acct - Warrants Bank Account			No					
CHAMBERS										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - AUDIO SYSTEM IN COUNCIL	NA	0.00	0.00	2,000.00	0.00	0.00	0.00	2,000.00		
CHAMBERS - ARPA										
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4140-2150	Professional Services		2,000.00	100.00%						

Vendor: [GUA02 - GUADALUPE HARDWARE COMPAN](#)

Vendor Total: 661.18

1168793	Invoice	10/7/2024	10/7/2024	10/7/2024	10/7/2024	37.78	0.00	0.00	0.00	37.78
WATER - 1/2 X 2 S NIPPLE		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WATER - 1/2 X 2 S NIPPLE	NA	0.00	0.00	37.78	0.00	0.00	0.00	37.78		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
010-4420-1550	Operating Supplies & Exp.		37.78	100.00%						

1174870	Invoice	12/6/2024	12/6/2024	12/6/2024	12/6/2024	49.98	0.00	0.00	0.00	49.98
PD - SPRAY NOZZLE METAL 7PATT		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
PD - SPRAY NOZZLE METAL 7PATT	NA	0.00	0.00	24.99	0.00	0.00	0.00	24.99		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4200-1200	Office Supplies & Postage		24.99	100.00%						

1174870	Invoice	12/6/2024	12/6/2024	12/6/2024	12/6/2024	49.98	0.00	0.00	0.00	49.98
PD - SPRAY NOZZLE METAL 7PATT		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
PD - SPRAY NOZZLE METAL 7PATT	NA	0.00	0.00	24.99	0.00	0.00	0.00	24.99		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4200-1501	Equipment < or = \$5000		24.99	100.00%						

1175740	Invoice	12/17/2024	12/17/2024	12/17/2024	12/17/2024	36.15	0.00	0.00	0.00	36.15
WATER - M-GRN SOLID FRNT MESH BACK		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WATER - TOOLS FOR WATER	NA	0.00	0.00	36.15	0.00	0.00	0.00	36.15		
DEPARTMENT										
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
010-4420-1550	Operating Supplies & Exp.		36.15	100.00%						

1175769	Invoice	12/17/2024	12/17/2024	12/17/2024	12/17/2024	35.85	0.00	0.00	0.00	35.85
STREETS- RTCHT 1/4" DR QCKRLS CMFRT		Warr Bank Acct - Warrants Bank Account			No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code					On Hold				
1175770	Invoice	12/17/2024	12/17/2024	12/17/2024	12/17/2024	49.64	0.00	0.00	0.00	49.64
STREETS - SCKT RTCHT 3/8"DR QCKRLS Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS - SCKT RTCHT 3/8"DR QCKRLS Distributions	NA	0.00	0.00	49.64	0.00	0.00	0.00	0.00	49.64	
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				49.64	100.00%				
1175778	Invoice	12/17/2024	12/17/2024	12/17/2024	12/17/2024	8.69	0.00	0.00	0.00	8.69
WATER - LUBE LOCK EASE 3OZ Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
WATER - WATER DEPT LOCK LUBE Distributions	NA	0.00	0.00	8.69	0.00	0.00	0.00	0.00	8.69	
Account Number	Account Name	Project Account Key			Amount	Percent				
010-4420-1550	Operating Supplies & Exp.				8.69	100.00%				
1175947	Invoice	12/18/2024	12/18/2024	12/18/2024	12/18/2024	163.13	0.00	0.00	0.00	163.13
STREETS- TRUCK VICE HITCH Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS- TRUCK VICE HITCH Distributions	NA	0.00	0.00	163.13	0.00	0.00	0.00	0.00	163.13	
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				163.13	100.00%				
1176017	Invoice	12/19/2024	12/19/2024	12/19/2024	12/19/2024	15.21	0.00	0.00	0.00	15.21
STREETS - CELL PHONE HOLDER LARGE Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS - CELL PHONE HOLDER LARGE Distributions	NA	0.00	0.00	15.21	0.00	0.00	0.00	0.00	15.21	
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				15.21	100.00%				
1176025	Invoice	12/19/2024	12/19/2024	12/19/2024	12/19/2024	13.09	0.00	0.00	0.00	13.09
STREETS - 16-14 QUICK SPLICE Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS - 16-14 QUICK SPLICE Distributions	NA	0.00	0.00	13.09	0.00	0.00	0.00	0.00	13.09	
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				13.09	100.00%				
1176190	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	7.60	0.00	0.00	0.00	7.60
STREETS- BATTERY ALKLN AA 4PK Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Discount	Total	
STREETS- BATTERY ALKLN AA 4PK Distributions	NA	0.00	0.00	7.60	0.00	0.00	0.00	0.00	7.60	
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				7.60	100.00%				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
1176212	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	113.08	0.00	0.00	0.00	113.08
WWTP - 1" 12R NPT DIES		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WWTP - 1" 12R NPT DIES	NA		0.00	0.00	113.08	0.00	0.00	0.00	113.08	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-1550	Operating Supplies & Exp.				113.08	100.00%				
1176230	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	30.28	0.00	0.00	0.00	30.28
WWTP - 1 PVC CAP SOC SCH40		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WWTP - 1 PVC CAP SOC SCH40	NA		0.00	0.00	30.28	0.00	0.00	0.00	30.28	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-1550	Operating Supplies & Exp.				30.28	100.00%				
1176231	Credit Memo	12/20/2024	12/20/2024	12/20/2024	12/20/2024	-109.28	0.00	0.00	0.00	-109.28
WWTP - 1" 12R NPT DIES		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WWTP	NA		0.00	0.00	-109.28	0.00	0.00	0.00	-109.28	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-1550	Operating Supplies & Exp.				-109.28	100.00%				
1176324	Invoice	12/23/2024	12/23/2024	12/23/2024	12/23/2024	29.35	0.00	0.00	0.00	29.35
STREETS-VP 40:1 FUEL 128OZ		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS-VP 40:1 FUEL 128OZ	NA		0.00	0.00	29.35	0.00	0.00	0.00	29.35	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				29.35	100.00%				
1176333	Invoice	12/23/2024	12/23/2024	12/23/2024	12/23/2024	30.43	0.00	0.00	0.00	30.43
PD - ANTIFEEZE PEAK RTU GAL		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - ANTIFEEZE PEAK RTU GAL	NA		0.00	0.00	30.43	0.00	0.00	0.00	30.43	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4200-1550	Operating Supplies & Exp.				30.43	100.00%				
1176682	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	48.77	0.00	0.00	0.00	48.77
STREETS - CH-EC211 CLEAR AF LENS CARBOND		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - CH-EC211 CLEAR AF LENS CARBOND	NA		0.00	0.00	48.77	0.00	0.00	0.00	48.77	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				48.77	100.00%				
1176956	Invoice	1/2/2025	1/2/2025	1/2/2025	1/2/2025	8.69	0.00	0.00	0.00	8.69
WATER - GREASE WHITE LITHUM - 100Z		Warr Bank Acct - Warrants Bank Account			No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description Items										
		Bank Code				On Hold				
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER - GREASE WHITE LITHUM - 10OZ Distributions	NA		0.00	0.00	8.69	0.00	0.00	0.00	8.69	
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-1550	Operating Supplies & Exp.				8.69	100.00%				
1177278	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	92.74	0.00	0.00	0.00	92.74
PD - LATCH D'LOCK WKSETS5"BACK		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - LATCH D'LOCK WKSETS5"BACK Distributions	NA		0.00	0.00	92.74	0.00	0.00	0.00	92.74	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4200-1550	Operating Supplies & Exp.				92.74	100.00%				

Vendor: [GWA01 - GREAT WESTERN ALARM & COM](#) **Vendor Total: 55.00**

241201752101	Invoice	1/1/2025	1/1/2025	1/1/2025	1/1/2025	55.00	0.00	0.00	0.00	55.00
WATER - 303 OBISPO STREET		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER - 303 OBISPO STREET Distributions	NA		0.00	0.00	55.00	0.00	0.00	0.00	55.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-1150	Communications				55.00	100.00%				

Vendor: [HAR05 - HARRY & KIMI KO MASATANI](#) **Vendor Total: 50.00**

01142025JAN	Invoice	1/14/2025	1/14/2025	1/14/2025	1/14/2025	50.00	0.00	0.00	0.00	50.00
FINANCE - PROPERTY LEASE PAYMETN FOR BANDSHELL		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - PROPERTY LEASE PAYMETN FOR BANDSHELL Distributions	NA		0.00	0.00	50.00	0.00	0.00	0.00	50.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4300-2150	Professional services				50.00	100.00%				

Vendor: [HDL01 - HINDERLITER DE LLAMAS & A](#) **Vendor Total: 1,690.06**

SIN045970	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	152.56	0.00	0.00	0.00	152.56
FINANCE - CONTRACT SERVICES - SALES TAX- OCT-DEC 24		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - CONTRACT SERVICES - SALES TAX-OCT-DEC 24 Distributions	NA		0.00	0.00	152.56	0.00	0.00	0.00	152.56	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4105-2150	Professional Services				152.56	100.00%				
SIN046135	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	600.00	0.00	0.00	0.00	600.00
FINANCE-CONTRACT SERVICES-TRANSACTIONS TAX-OCT-DEC		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
CONTRACT SERVICES-TRANSACTIONS TAX-OCT-DEC 2024 Distributions	NA		0.00	0.00	600.00	0.00	0.00	0.00	600.00	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4105-2150	Professional Services				600.00	100.00%				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
SIN046351	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	937.50	0.00	0.00	0.00	937.50
ADM - CANNABIS MANAGERMENTS SERVICES - Warr Bank Acct - Warrants Bank Account					No					
DEC 2024										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - CANNABIS MANAGERMENTS SERVICES - DEC 2024	NA	0.00	0.00	937.50	0.00	0.00	0.00	937.50		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-HEMP-2150	Prof Services		937.50	100.00%						

Vendor: [HEA01 - HEALTH SANITATION SERVICE](#)

Vendor Total: 929.91

0423854-1082-6	Invoice	12/16/2024	12/16/2024	12/16/2024	12/16/2024	680.15	0.00	0.00	0.00	680.15
STREETS - CUST#:9-64873-35005 303 OBISPO ST Warr Bank Acct - Warrants Bank Account					No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
STREETS - CUST#:9-64873-35005 303 OBISPO ST	NA	0.00	0.00	680.15	0.00	0.00	0.00	680.15		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
071-4454-1000	Utilities		680.15	100.00%						

0423919-1082-7	Invoice	1/1/2025	1/1/2025	1/1/2025	1/1/2025	249.76	0.00	0.00	0.00	249.76
BUILDING - LEROY PARK Warr Bank Acct - Warrants Bank Account					No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - CUST#:26-51796-93007 - LEROY PARK	NA	0.00	0.00	249.76	0.00	0.00	0.00	249.76		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4300-2150	Professional services		249.76	100.00%						

Vendor: [HEN01 - EAGLE ENERGY, INC](#)

Vendor Total: 2,369.42

213475	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	260.78	0.00	0.00	0.00	260.78
WATER - ACCT#:1202 FUEL CHARGES Warr Bank Acct - Warrants Bank Account					No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WATER - ACCT#:1202 WATER DEPT VEHICLE FUEL	NA	0.00	0.00	260.78	0.00	0.00	0.00	260.78		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
010-4420-1560	Fuel & lubricants		260.78	100.00%						

213476	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	219.61	0.00	0.00	0.00	219.61
STREETS - ACCT#:1208 - FUEL CHARGES Warr Bank Acct - Warrants Bank Account					No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
STREETS - ACCT#:1208 - FUEL CHARGES	NA	0.00	0.00	219.61	0.00	0.00	0.00	219.61		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
071-4454-1560	Fuels & Lubricants		219.61	100.00%						

213481	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	391.48	0.00	0.00	0.00	391.48
BUILDING - ACCT#:1228 - FUEL CHARGES Warr Bank Acct - Warrants Bank Account					No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code					On Hold				
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - ACCT#:1228 - FUEL CHARGES	NA		0.00	0.00	391.48	0.00	0.00	0.00	391.48	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4300-1560	Fuel & lubricants				391.48	100.00%				
213488	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	1,497.55	0.00	0.00	0.00	1,497.55
PD - FUEL CHARGES - ACCT#:1280	Warr Bank Acct - Warrants Bank Account					No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - FUEL CHARGES - ACCT#:1280	NA		0.00	0.00	1,497.55	0.00	0.00	0.00	1,497.55	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4200-1560	Fuel & lubricants				1,497.55	100.00%				

Vendor: [HOM02 - HOME DEPOT CREDIT SERVICE](#)

Vendor Total: 978.37

1013588	Invoice	11/18/2024	11/18/2024	11/18/2024	11/18/2024	48.48	0.00	0.00	0.00	48.48
STREETS - BEHR PPE 4050 FLAT UPW 128OZ	Warr Bank Acct - Warrants Bank Account					No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - BEHR PPE 4050 FLAT UPW 128OZ	NA		0.00	0.00	48.48	0.00	0.00	0.00	48.48	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				48.48	100.00%				

1260423	Invoice	11/21/2024	11/21/2024	11/21/2024	11/21/2024	51.74	0.00	0.00	0.00	51.74
STREETS - BEHR PPE 9050 SATIN UPW 128OZ	Warr Bank Acct - Warrants Bank Account					No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - BEHR PPE 9050 SATIN UPW 128OZ	NA		0.00	0.00	51.74	0.00	0.00	0.00	51.74	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				51.74	100.00%				

260535	Invoice	12/2/2024	12/2/2024	12/2/2024	12/2/2024	273.65	0.00	0.00	0.00	273.65
STREETS - MKE XL RED NITRILE DIPPED WNTR	Warr Bank Acct - Warrants Bank Account					No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - MKE XL RED NITRILE DIPPED WNTR	NA		0.00	0.00	273.65	0.00	0.00	0.00	273.65	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				273.65	100.00%				

4260368	Invoice	11/18/2024	11/18/2024	11/18/2024	11/18/2024	406.26	0.00	0.00	0.00	406.26
STREETS- 13PC BIM WOOD & METAL	Warr Bank Acct - Warrants Bank Account					No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS- 13PC BIM WOOD & METAL	NA		0.00	0.00	406.26	0.00	0.00	0.00	406.26	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				406.26	100.00%				

7540007	Invoice	11/25/2024	11/25/2024	11/25/2024	11/25/2024	190.77	0.00	0.00	0.00	190.77
BUILDING - MKE SHOCKWAVE 45PC IMPACT BIT	Warr Bank Acct - Warrants Bank Account					No				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description		Bank Code	On Hold							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - MKE SHOCKWAVE 45PC IMPACT BIT	NA		0.00	0.00	190.77	0.00	0.00	0.00	190.77	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4145-1550	Operating Supplies & Exp.				190.77	100.00%				
8260337	Invoice	11/14/2024	11/14/2024	11/14/2024	11/14/2024	7.47	0.00	0.00	0.00	7.47
STREETS- 10' VINYL TUBE		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS- 10' VINYL TUBE	NA		0.00	0.00	7.47	0.00	0.00	0.00	7.47	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				7.47	100.00%				

Vendor: [IC001 - ICONIX WATERWORKS \(US\) IN](#)

Vendor Total: 1,654.55

U2516001208	Invoice	1/10/2025	1/10/2025	1/10/2025	1/10/2025	1,654.55	0.00	0.00	0.00	1,654.55
WATER - FL12 FIBRELYTE PROBE LID WATER		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER - FL12 FIBRELYTE PROBE LID WATER	NA		0.00	0.00	1,654.55	0.00	0.00	0.00	1,654.55	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-1550	Operating Supplies & Exp.				1,654.55	100.00%				

Vendor: [IMI01 - IMI INTERNATIONAL INC](#)

Vendor Total: 8,662.00

122624	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	8,662.00	0.00	0.00	0.00	8,662.00
BUILDING - ARPA - LABOR AND MATERIAL		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - ARPA - LABOR AN...	NA		0.00	0.00	8,662.00	0.00	0.00	0.00	8,662.00	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4300-2150	Professional services				8,662.00	100.00%				

Vendor: [INT09 - INTERSTATE BATTERIES OF C](#)

Vendor Total: 581.12

10037443	Invoice	12/11/2024	12/11/2024	12/11/2024	12/11/2024	168.33	0.00	0.00	0.00	168.33
WWTP - MTP - 65HD		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WWTP - MTP - 65HD	NA		0.00	0.00	168.33	0.00	0.00	0.00	168.33	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-1460	Vehicle maintenance				168.33	100.00%				
10038855	Invoice	1/13/2025	1/13/2025	1/13/2025	1/13/2025	168.33	0.00	0.00	0.00	168.33
WATER - MTP - 65HD		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER - MTP - 65HD - BATTERY	NA		0.00	0.00	168.33	0.00	0.00	0.00	168.33	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-1460	Vehicle maintenance				168.33	100.00%				

10039017	Invoice	1/15/2025	1/15/2025	1/15/2025	1/15/2025	244.46	0.00	0.00	0.00	244.46
PD - MTX-48/H6 ATCORE UNIT:TRUCK 18-01		Warr Bank Acct - Warrants Bank Account			No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code	On Hold								
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
18-01 Distributions										
PD - MTX-48/H6 ATCORE UNIT:TRUCK	NA	0.00	0.00	244.46	0.00	0.00	0.00	244.46		
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4200-1460	Vehicle Maintenance		244.46	100.00%						

Vendor: [ITE01 - ITECH SOLUTIONS](#) **Vendor Total: 10,518.66**

14298	Invoice	1/1/2025	1/1/2025	1/1/2025	1/1/2025	2,514.70	0.00	0.00	0.00	2,514.70
ADM - MICROSOFT LICENSE'S JAN 2025		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - MICROSOFT LICENSE'S JAN 2025	NA	0.00	0.00	2,514.70	0.00	0.00	0.00	2,514.70		
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4140-2151	Information Technology Svs		2,514.70	100.00%						

[14340](#) Invoice 1/1/2025 1/1/2025 1/1/2025 1/1/2025 8,003.96 0.00 0.00 0.00 8,003.96

ADM - IT SERVICES - JAN 2025 Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - IT SERVICES - JAN 2025	NA	0.00	0.00	8,003.96	0.00	0.00	0.00	8,003.96		
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4140-2151	Information Technology Svs		8,003.96	100.00%						

Vendor: [JAC02 - JACK'S ALL AMERICAN PLUM](#) **Vendor Total: 897.19**

10578066	Invoice	10/10/2024	10/10/2024	10/10/2024	10/10/2024	897.19	0.00	0.00	0.00	897.19
BUILDING - LABOR AND MATERIAL - LOCATED		Warr Bank Acct - Warrants Bank Account			No					

SEWER LINE

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - LABOR AND MATERIAL - LOCATED SEWER LINE	NA	0.00	0.00	897.19	0.00	0.00	0.00	897.19		
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4145-2150	Professional Services		897.19	100.00%						

Vendor: [JAS01 - JAS PACIFIC, INC.](#) **Vendor Total: 1,667.50**

PC7323	Invoice	1/5/2025	1/5/2025	1/5/2025	1/5/2025	1,667.50	0.00	0.00	0.00	1,667.50
ADM - PLAN CHECK SERVICES - DEC 2024		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - PLAN CHECK SERVICES - DEC 2024	NA	0.00	0.00	1,667.50	0.00	0.00	0.00	1,667.50		
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4405-2150	Professional Services		1,667.50	100.00%						

Vendor: [JAY01 - JAY CEE TROPHY CO., INC.](#) **Vendor Total: 13.05**

995286	Invoice	12/5/2024	12/5/2024	12/5/2024	12/5/2024	13.05	0.00	0.00	0.00	13.05
PD - MICHAEL CASH - PLATE FOR SHADOW BOX		Warr Bank Acct - Warrants Bank Account			No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description		Bank Code	On Hold							
Item Description		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - MICHAEL CASH - PLATE FOR SHADOW BOX Distributions		NA	0.00	0.00	13.05	0.00	0.00	0.00	13.05	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4200-1550	Operating Supplies & Exp.				13.05	100.00%				

Vendor: [JBM01 - JUAN BRIBIESCA ALCALA](#)

Vendor Total: 175.00

41	Invoice	12/15/2024	12/15/2024	12/15/2024	12/15/2024	70.00	0.00	0.00	0.00	70.00
PD - CAR WASH AND DETAIL - UNIT 15-02, 17-01		Warr Bank Acct - Warrants Bank Account			No					

Item Description		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - CAR WASH AND DETAIL - UNIT 15-02, 17-01 Distributions		NA	0.00	0.00	70.00	0.00	0.00	0.00	70.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4200-1400	Equipment Maintenance				70.00	100.00%				

42	Invoice	12/29/2024	12/29/2024	12/29/2024	12/29/2024	105.00	0.00	0.00	0.00	105.00
PD - CAR WASH AND DETAIL-CHEVY TAHOE, 15-03, 22-01		Warr Bank Acct - Warrants Bank Account			No					

Item Description		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - CAR WASH AND DETAIL-CHEVY TAHOE, 15-03, 22-01 Distributions		NA	0.00	0.00	105.00	0.00	0.00	0.00	105.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4200-1400	Equipment Maintenance				105.00	100.00%				

Vendor: [LCW01 - LIEBERT CASSIDY WHITMORE](#)

Vendor Total: 671.00

282201	Invoice	11/30/2024	11/30/2024	11/30/2024	11/30/2024	671.00	0.00	0.00	0.00	671.00
ADM - PERSONNEL LEGAL SERVICES - NOV 2024		Warr Bank Acct - Warrants Bank Account			No					

Item Description		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total	
ADM - PERSONNEL LEGAL SERVICES - NOV 2024 Distributions		NA	0.00	0.00	671.00	0.00	0.00	0.00	671.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4110-2150	Professional services				671.00	100.00%				

Vendor: [LIM01 - CARLOS LIMON](#)

Vendor Total: 425.00

01142025	Invoice	1/14/2025	1/14/2025	1/14/2025	1/14/2025	425.00	0.00	0.00	0.00	425.00
PD - CARLOS LIMON - UNIFORM ALLOWANCE		Warr Bank Acct - Warrants Bank Account			No					

Item Description		Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total	
UNIFORM WAREHOUSE-FLASHLIGHT, JACKET,BOOTS,PANTS Distributions		NA	0.00	0.00	425.00	0.00	0.00	0.00	425.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4200-0450	Other Benefits				425.00	100.00%				

Vendor: [MDI01 - MIDCAL DREDGING, INC.](#)

Vendor Total: 60,000.00

1077	Invoice	1/8/2025	1/8/2025	1/8/2025	1/8/2025	60,000.00	0.00	0.00	0.00	60,000.00
ADM - MOBILIZATION FEE TRANSPORT AND SETUP EQUIP		Warr Bank Acct - Warrants Bank Account			No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description		Bank Code	On Hold							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
ADM - MOBILIZATION FEE TRANSPORT AND SETUP EQUIP Distributions	NA		0.00	0.00	60,000.00	0.00	0.00	0.00	60,000.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
089-4444-3105	WWTP Improvements				60,000.00	100.00%				

Vendor: MID01 - MID-STATE CONCRETE PRODUC										Vendor Total:	47.24
74716	Invoice	11/30/2024	11/30/2024	11/30/2024	11/30/2024	47.24	0.00	0.00	0.00	47.24	
FINANCE - FINANCE CHARGE		Warr Bank Acct - Warrants Bank Account			No						

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - FINANCE CHARGE Distributions	NA		0.00	0.00	47.24	0.00	0.00	0.00	47.24	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4140-1750	Bank Service Charges				47.24	100.00%				

Vendor: NAP01 - NAPA, RAYS AUTO PARTS										Vendor Total:	61.32
659326	Invoice	12/27/2024	12/27/2024	12/27/2024	12/27/2024	61.32	0.00	0.00	0.00	61.32	
BUILDING - PULLEY PULLER		Warr Bank Acct - Warrants Bank Account			No						

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - PULLEY PULLER Distributions	NA		0.00	0.00	61.32	0.00	0.00	0.00	61.32	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4300-1550	Operating Supplies & Exp.				61.32	100.00%				

Vendor: NOL01 - NO LIMIT TIRE INC.										Vendor Total:	25.00
50194	Invoice	12/18/2024	12/18/2024	12/18/2024	12/18/2024	25.00	0.00	0.00	0.00	25.00	
WATER - CHEVY 2500 - RIGHT FRONT		Warr Bank Acct - Warrants Bank Account			No						

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER - CHEVY 2500 Distributions	NA		0.00	0.00	25.00	0.00	0.00	0.00	25.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
010-4420-1460	Vehicle maintenance				25.00	100.00%				

Vendor: NOR01 - MONICA NORIZ										Vendor Total:	160.00
102104	Invoice	1/7/2025	1/7/2025	1/7/2025	1/7/2025	160.00	0.00	0.00	0.00	160.00	
P&R- ZUMBA INSTRUCTOR		Warr Bank Acct - Warrants Bank Account			No						

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
P&R- ZUMBA INSTRUCTOR - 12/2, 12/09, 12/16, 12/30 Distributions	NA		0.00	0.00	160.00	0.00	0.00	0.00	160.00	
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4300-2150	Professional services				160.00	100.00%				

Vendor: NUN01 - MICHAEL K. NUNLEY & ASSOC										Vendor Total:	1,560.26
001050001289	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	742.88	0.00	0.00	0.00	742.88	
STREETS - GUAD PIONEER ESDC (MKN)		Warr Bank Acct - Warrants Bank Account			No						

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description		Bank Code	On Hold							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - GUAD PIONEER ESDC (MKN)	NA		0.00	0.00	742.88	0.00	0.00	0.00	742.88	

Account Number	Account Name	Project Account Key	Amount	Percent
089-4444-3082	Pioneer Lift Station (089-511)		742.88	100.00%

001050001290	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	817.38	0.00	0.00	0.00	817.38
STREETS - GUAD LS & TRUNK MAIN HWY		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - GUAD LS & TRUNK MAIN HWY	NA		0.00	0.00	817.38	0.00	0.00	0.00	817.38	

Account Number	Account Name	Project Account Key	Amount	Percent
089-4444-3084	Hwy 1 Lift Station		817.38	100.00%

Vendor: [OFF01 - OFFICE DEPOT CREDIT PLAN](#) Vendor Total: 192.42

396537961001	Invoice	11/21/2024	11/21/2024	11/21/2024	11/21/2024	47.83	0.00	0.00	0.00	47.83
FINANCE - NEC SET 3PT ENV 50PK		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - NEC SET 3PT ENV 50PK	NA		0.00	0.00	47.83	0.00	0.00	0.00	47.83	

Account Number	Account Name	Project Account Key	Amount	Percent
001-4120-1550	Operating Supplies & Exp.		47.83	100.00%

396543234001	Invoice	11/21/2024	11/21/2024	11/21/2024	11/21/2024	27.18	0.00	0.00	0.00	27.18
FINANCE - MISC FORMS 4PT ENV 10		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - MISC FORMS 4PT ENV 10	NA		0.00	0.00	27.18	0.00	0.00	0.00	27.18	

Account Number	Account Name	Project Account Key	Amount	Percent
001-4120-1550	Operating Supplies & Exp.		27.18	100.00%

402778726-001	Invoice	12/19/2024	12/19/2024	12/19/2024	12/19/2024	117.41	0.00	0.00	0.00	117.41
PD - MONTHLY WALL CALENDAR 2025 (4)		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - MONTHLY WALL CALENDAR 2025 (4)	NA		0.00	0.00	117.41	0.00	0.00	0.00	117.41	

Account Number	Account Name	Project Account Key	Amount	Percent
001-4200-1550	Operating Supplies & Exp.		117.41	100.00%

Vendor: [PRI02 - PRINTMASTERS DESIGN & PRI](#) Vendor Total: 350.18

6626	Invoice	1/9/2025	1/9/2025	1/9/2025	1/9/2025	350.18	0.00	0.00	0.00	350.18
STREETS - EMBROIDERED HAT		Warr Bank Acct - Warrants Bank Account			No					

Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS-EMBROIDERED HAT(12)	NA		0.00	0.00	210.10	0.00	0.00	0.00	210.10	

Account Number	Account Name	Project Account Key	Amount	Percent
071-4454-0100	Salaries - Regular		210.10	100.00%

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code					On Hold				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS-EMBROIDERED HAT(12)	NA		0.00	0.00	35.01	0.00	0.00	0.00	35.01	
EMBROIDERED PATCH (12)										
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
010-4420-0100	Salaries - Regular				35.01	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS-EMBROIDERED HAT(12)	NA		0.00	0.00	35.01	0.00	0.00	0.00	35.01	
EMBROIDERED PATCH (12)										
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
012-4425-0100	Salaries - Regular				35.01	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS-EMBROIDERED HAT(12)	NA		0.00	0.00	35.01	0.00	0.00	0.00	35.01	
EMBROIDERED PATCH (12)										
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
023-4461-0100	Salaries - Regular				35.01	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS-EMBROIDERED HAT(12)	NA		0.00	0.00	17.50	0.00	0.00	0.00	17.50	
EMBROIDERED PATCH (12)										
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
060-4490-0100	Salaries - Regular				17.50	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS-EMBROIDERED HAT(12)	NA		0.00	0.00	17.55	0.00	0.00	0.00	17.55	
EMBROIDERED PATCH (12)										
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
063-4472-0100	Salaries - Regular				17.55	100.00%				

Vendor: [QUI01 - QUILL CORPORATION](#) Vendor Total: 214.05

[41798503](#) Invoice 12/3/2024 12/3/2024 12/3/2024 12/3/2024 103.49 0.00 0.00 0.00 103.49
 ADM - ADMIN DEPT OFFICE SUPPLIES Warr Bank Acct - Warrants Bank Account No

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
ADM - ADMIN DEPT OFFICE SUPPLIES	NA		0.00	0.00	103.49	0.00	0.00	0.00	103.49	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4105-1200	Office Supplies & Postage				103.49	100.00%				

[41853308](#) Invoice 12/5/2024 12/5/2024 12/5/2024 12/5/2024 49.49 0.00 0.00 0.00 49.49
 ADM - ADMIN DEPT OFFICE SUPPLIES Warr Bank Acct - Warrants Bank Account No

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
ADM - ADMIN DEPT OFFICE SUPPLIES	NA		0.00	0.00	49.49	0.00	0.00	0.00	49.49	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4105-1200	Office Supplies & Postage				49.49	100.00%				

[41853585](#) Invoice 12/5/2024 12/5/2024 12/5/2024 12/5/2024 61.07 0.00 0.00 0.00 61.07
 ADM - ADMIN DEPT OFFICE SUPPLIES Warr Bank Acct - Warrants Bank Account No

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description		Bank Code	On Hold							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
ADM - ADMIN DEPT OFFICE SUPPLIES	NA		0.00	0.00	61.07	0.00	0.00	0.00	61.07	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4105-1200	Office Supplies & Postage				61.07	100.00%				

Vendor: [RAC01 - RAMSEY ASPHALT CONSTRUCTION](#) Vendor Total: 84,980.00

11072	Invoice	1/5/2025	1/5/2025	1/5/2025	1/5/2025	84,980.00	0.00	0.00	0.00	84,980.00
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FINANCE - REMOVE & REPLACE BASKET BALL COURT Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - REMOVE & REPLACE BASKET BALL COURT	NA	0.00	0.00	84,980.00	0.00	0.00	0.00	84,980.00		
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4145-2150	Professional Services				84,980.00	100.00%				

Vendor: [REY01 - REYNA AUTO REPAIR](#) Vendor Total: 1,054.25

5930	Invoice	12/13/2024	12/13/2024	12/13/2024	12/13/2024	1,054.25	0.00	0.00	0.00	1,054.25
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PD - LIC#:1329095 CHANGED ALTERNATOR - UNIT:15-03 Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
PD - LIC#:1329095 CHANGED ALTERNATOR - UNIT:15-03	NA	0.00	0.00	1,054.25	0.00	0.00	0.00	1,054.25		
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4200-1460	Vehicle Maintenance				1,054.25	100.00%				

Vendor: [SAN02 - SANTA MARIA TIRE CORP](#) Vendor Total: 427.25

167991	Invoice	12/12/2024	12/12/2024	12/12/2024	12/12/2024	427.25	0.00	0.00	0.00	427.25
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PD - 17-02 FORD - NEW TPMS SENSOR Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
PD - 17-02 FORD - NEW TPMS SENSOR	NA	0.00	0.00	427.25	0.00	0.00	0.00	427.25		
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4200-1460	Vehicle Maintenance				427.25	100.00%				

Vendor: [SAN04 - SANTA BARBARA COUNTY](#) Vendor Total: 9,678.42

GEN110524-12-01	Invoice	1/15/2025	1/15/2025	1/15/2025	1/15/2025	5,376.90	0.00	0.00	0.00	5,376.90
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ADM - 2024 GENERAL ELECTION MAYORS SEAT Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - 2024 GENERAL ELECTION MAYORS SEAT	NA	0.00	0.00	5,376.90	0.00	0.00	0.00	5,376.90		
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4105-1600	Elections				5,376.90	100.00%				

GEN110524-12-02	Invoice	1/15/2025	1/15/2025	1/15/2025	1/15/2025	2,150.76	0.00	0.00	0.00	2,150.76
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ADM - 2024 GENERAL ELECTION COUNCIL SEAT Warr Bank Acct - Warrants Bank Account No

GEN110524-12-02	Invoice	1/15/2025	1/15/2025	1/15/2025	1/15/2025	2,150.76	0.00	0.00	0.00	2,150.76
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ADM - 2024 GENERAL ELECTION COUNCIL SEAT Warr Bank Acct - Warrants Bank Account No

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code					On Hold				
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - 2024 GENERAL ELECTION COUNCIL SEAT Distributions	NA	0.00	0.00	2,150.76	0.00	0.00	0.00	2,150.76		
Account Number 001-4105-1600	Account Name Elections	Project Account Key		Amount 2,150.76	Percent 100.00%					
GEN110524-12-03	Invoice	1/15/2025	1/15/2025	1/15/2025	1/15/2025	2,150.76	0.00	0.00	0.00	2,150.76
ADM - 2024 PRESIDENTIAL GENERAL ELECTION Items	Warr Bank Acct - Warrants Bank Account					No				
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - 2024 PRESIDENTIAL GENERAL ELECTION CLERK SEAT Distributions	NA	0.00	0.00	2,150.76	0.00	0.00	0.00	2,150.76		
Account Number 001-4105-1600	Account Name Elections	Project Account Key		Amount 2,150.76	Percent 100.00%					

Vendor: [SAN25 - SAN LUIS POWER HOUSE, INC](#)

Vendor Total: 1,385.71

52555	Invoice	1/15/2025	1/15/2025	1/15/2025	1/15/2025	345.00	0.00	0.00	0.00	345.00
WATER - LABOR AND SERVICES CALL 1/10	Warr Bank Acct - Warrants Bank Account					No				
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WATER - LABOR AND SERVICES CAL... Distributions	NA	0.00	0.00	345.00	0.00	0.00	0.00	345.00		
Account Number 010-4420-2150	Account Name Professional Services	Project Account Key		Amount 345.00	Percent 100.00%					
52556	Invoice	1/15/2025	1/15/2025	1/15/2025	1/15/2025	695.71	0.00	0.00	0.00	695.71
WATER - LABOR SERVICE - SERVICE CALL 1/10	Warr Bank Acct - Warrants Bank Account					No				
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WATER - LABOR SERVICE - SERVICE CALL 1/10 Distributions	NA	0.00	0.00	695.71	0.00	0.00	0.00	695.71		
Account Number 010-4420-2150	Account Name Professional Services	Project Account Key		Amount 695.71	Percent 100.00%					
52557	Invoice	1/15/2025	1/15/2025	1/15/2025	1/15/2025	345.00	0.00	0.00	0.00	345.00
WWTP - LIFT STATION #1	Warr Bank Acct - Warrants Bank Account					No				
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WWTP - LIFT STATION #1 Distributions	NA	0.00	0.00	345.00	0.00	0.00	0.00	345.00		
Account Number 012-4425-2150	Account Name Professional Services	Project Account Key		Amount 345.00	Percent 100.00%					

Vendor: [SAT01 - SATCOM GLOBAL FZE](#)

Vendor Total: 114.42

AS01250194	Invoice	1/1/2025	1/1/2025	1/1/2025	1/1/2025	114.42	0.00	0.00	0.00	114.42
FIRE- IRIDIUM SIM CARD	Warr Bank Acct - Warrants Bank Account					No				
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FIRE- IRIDIUM SIM CARD Distributions	NA	0.00	0.00	57.21	0.00	0.00	0.00	57.21		
Account Number 001-4200-1150	Account Name Communications	Project Account Key		Amount 57.21	Percent 100.00%					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description		Bank Code	On Hold							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FIRE- IRIDIUM SIM CARD	NA		0.00	0.00	57.21	0.00	0.00	0.00	57.21	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4220-1150	Communications				57.21	100.00%				

Vendor: [SMI01 - SMITH PIPE & SUPPLY](#) **Vendor Total:** 128.58

4223695	Invoice	1/9/2025	1/9/2025	1/9/2025	1/9/2025	128.58	0.00	0.00	0.00	128.58
STREETS - ROUNDUP PRO MAX		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ROUNDUP PRO MAX	NA		0.00	0.00	128.58	0.00	0.00	0.00	128.58	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
071-4454-1550	Operating Supplies & Exp.				128.58	100.00%				

Vendor: [STC01 - SECURITAS TECHNOLOGY CORPORATION](#) **Vendor Total:** 255.91

6004718784	Invoice	12/2/2024	12/2/2024	12/2/2024	12/2/2024	63.03	0.00	0.00	0.00	63.03
FINANCE - 918 OBISPO - CITY HALL FINANCE		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - 918 OBISPO - CITY HALL	NA		0.00	0.00	63.03	0.00	0.00	0.00	63.03	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4120-2150	Professional services				63.03	100.00%				

6004726259	Invoice	12/2/2024	12/2/2024	12/2/2024	12/2/2024	68.10	0.00	0.00	0.00	68.10
ADM - ALARM SYSTEM - ADMIN OFFICE - JAN 2025		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
ADM - ALARM SYSTEM - ADMIN OFFICE - JAN 2025	NA		0.00	0.00	68.10	0.00	0.00	0.00	68.10	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4105-2150	Professional Services				68.10	100.00%				

6004726785	Invoice	12/2/2024	12/2/2024	12/2/2024	12/2/2024	61.75	0.00	0.00	0.00	61.75
WWTP - ALARMS AT THE PLANT		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WWTP - ALARMS AT THE PLANT	NA		0.00	0.00	61.75	0.00	0.00	0.00	61.75	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-2150	Professional Services				61.75	100.00%				

6004776636	Invoice	1/2/2025	1/2/2025	1/2/2025	1/2/2025	63.03	0.00	0.00	0.00	63.03
FINANCE - ACCT#:30017291 - CITY HALL		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - ACCT#:30017291 - CITY HALL	NA		0.00	0.00	63.03	0.00	0.00	0.00	63.03	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4120-2150	Professional services				63.03	100.00%				

Vendor: [SWR01 - SWRCB-DWOCP](#) **Vendor Total:** 9,182.52

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
LW-1050048	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	9,182.52	0.00	0.00	0.00	9,182.52
WATER - DISADVANTAGED COMMUNITY		Warr Bank Acct - Warrants Bank Account		No						
WATER SYSTEM										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WATER - DISADVANTAGED COMMUNITY	NA	0.00	0.00	9,182.52	0.00	0.00	0.00	9,182.52		
WATER SYSTEM										
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
010-4420-2350	Services by other Agencies		9,182.52	100.00%						

Vendor: [TEM01 - TEMPLETON UNIFORMS,LLC](#)

Vendor Total: 1,156.63

10825	Invoice	1/11/2025	1/11/2025	1/11/2025	1/11/2025	368.43	0.00	0.00	0.00	368.43
PD - TEMPLETON UNIFORM - FRANK MEDINA		Warr Bank Acct - Warrants Bank Account		No						
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BATTERIES(2),CUFFCASE, FLASHLIGHTS(2),CHARGER	NA	0.00	0.00	368.43	0.00	0.00	0.00	368.43		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4200-0450	Other Benefits		368.43	100.00%						

10882	Invoice	12/16/2024	12/16/2024	12/16/2024	12/16/2024	121.15	0.00	0.00	0.00	121.15
PD - LUIS CASTELLANOS - STINGER ULTRA LED		Warr Bank Acct - Warrants Bank Account		No						
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
TEMPLETON UNIFORM - STINGER LULTRA LED	NA	0.00	0.00	121.15	0.00	0.00	0.00	121.15		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4200-0450	Other Benefits		121.15	100.00%						

11017	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	336.91	0.00	0.00	0.00	336.91
FIRE-TEMPLETON UNIFORM-PATRICK SCHMITZ		Warr Bank Acct - Warrants Bank Account		No						
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
UNIFORM SERVICE- 730NMX MN-46 & 402NMX-MN-36, BELT	NA	0.00	0.00	336.91	0.00	0.00	0.00	336.91		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4220-0450	Other Benefits		336.91	100.00%						

11120	Invoice	12/27/2024	12/27/2024	12/27/2024	12/27/2024	330.14	0.00	0.00	0.00	330.14
FIRE-REYES-TEMPLETON UNIFORM		Warr Bank Acct - Warrants Bank Account		No						
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
UNIFORM ALLOWANCE - 400NMX-MN-32 (2)	NA	0.00	0.00	330.14	0.00	0.00	0.00	330.14		
Distributions										
Account Number	Account Name	Project Account Key	Amount	Percent						
001-4220-0450	Other Benefits		330.14	100.00%						

Vendor: [THE12 - THE SHERWIN WILLIAMS CO.](#)

Vendor Total: 40.34

5685-2	Invoice	12/17/2024	12/17/2024	12/17/2024	12/17/2024	40.34	0.00	0.00	0.00	40.34
BUILDING - LIFTAWAY GRAF REMVR		Warr Bank Acct - Warrants Bank Account		No						

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description		Bank Code	On Hold							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - LIFTAWAY GRAF REMVR	NA		0.00	0.00	40.34	0.00	0.00	0.00	40.34	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4300-1550	Operating Supplies & Exp.				40.34	100.00%				

Vendor: [TKI01 - TRIPLE K IRRIGATION](#) **Vendor Total:** 121.83

SO-20260	Invoice	1/3/2025	1/3/2025	1/3/2025	1/3/2025	121.83	0.00	0.00	0.00	121.83
WWTP - ADAPTER FLANGE/3"NPT		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WWTP - ADAPTER FLANGE/3"NPT	NA		0.00	0.00	121.83	0.00	0.00	0.00	121.83	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-1550	Operating Supplies & Exp.				121.83	100.00%				

Vendor: [TMU01 - T-MOBILE USA INC](#) **Vendor Total:** 205.80

986681929-01192025	Invoice	1/19/2025	1/19/2025	1/19/2025	1/19/2025	205.80	0.00	0.00	0.00	205.80
PD - CITY CAMERAS		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - CITY CAMERAS	NA		0.00	0.00	205.80	0.00	0.00	0.00	205.80	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4200-1150	Communications				205.80	100.00%				

Vendor: [TOW01 - TOWNSEND PUBLIC AFFAIRS I](#) **Vendor Total:** 5,000.00

22804	Invoice	1/1/2025	1/1/2025	1/1/2025	1/1/2025	5,000.00	0.00	0.00	0.00	5,000.00
ADM - GRANT CONSULTING SERVICES - JAN 2025		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
ADM - GRANT CONSULTING SERVICES - JAN 2025	NA		0.00	0.00	5,000.00	0.00	0.00	0.00	5,000.00	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4105-2150	Professional Services				5,000.00	100.00%				

Vendor: [TYL01 - TYLER TECHNOLOGIES,INC.](#) **Vendor Total:** 100.00

045-495783	Invoice	11/30/2024	11/30/2024	11/30/2024	11/30/2024	20.00	0.00	0.00	0.00	20.00
FINANCE - CHECK RETURN ACTIVITY		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - CHECK RETURN ACTIVITY	NA		0.00	0.00	20.00	0.00	0.00	0.00	20.00	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-1750	Bank Service Charges				20.00	100.00%				

045-497930	Invoice	12/13/2024	12/13/2024	12/13/2024	12/13/2024	70.00	0.00	0.00	0.00	70.00
FINANCE - CREDIT CARD CHAGEBACK ACITIVITY		Warr Bank Acct - Warrants Bank Account			No					

Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
CHECK RETURN ACTIVITY	NA		0.00	0.00	70.00	0.00	0.00	0.00	70.00	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-1750	Bank Service Charges				70.00	100.00%				

Payable Register

Packet: APPKT00459 - 01.28.25 BIWEEKLY RUN

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
045-498423	Invoice	12/15/2024	12/15/2024	12/15/2024	12/15/2024	10.00	0.00	0.00	0.00	10.00
FINANCE - TYLER PAYMENTS - ECHECK		Warr Bank Acct - Warrants Bank Account			No					
RETURN ACTIVITY										
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - TYLER PAYMENTS - ECHECK	NA	0.00	0.00	10.00	0.00	0.00	0.00	10.00		
RETURN ACTIVITY										
Distributions										
Account Number	Account Name	Project	Account Key	Amount	Percent					
010-4420-1750	Bank Service Charges			10.00	100.00%					

Vendor: [ULT01 - ULTREX](#)

Vendor Total: 706.32

4261714-CAL	Invoice	1/2/2025	1/2/2025	1/2/2025	1/2/2025	3.14	0.00	0.00	0.00	3.14
ADM - SENIOR CENTER COPIER		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - SENIOR CENTER COPIER	NA	0.00	0.00	3.14	0.00	0.00	0.00	3.14		
Distributions										
Account Number	Account Name	Project	Account Key	Amount	Percent					
107-4018-2166	Activity			3.14	100.00%					

4262891-CAL	Invoice	1/3/2025	1/3/2025	1/3/2025	1/3/2025	15.00	0.00	0.00	0.00	15.00
PD - BLACK TONER		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
PD - BLACK TONER	NA	0.00	0.00	15.00	0.00	0.00	0.00	15.00		
Distributions										
Account Number	Account Name	Project	Account Key	Amount	Percent					
001-4200-1550	Operating Supplies & Exp.			15.00	100.00%					

4269751-CAL	Invoice	1/10/2025	1/10/2025	1/10/2025	1/10/2025	688.18	0.00	0.00	0.00	688.18
ADM - COPIES		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING	NA	0.00	0.00	52.95	0.00	0.00	0.00	52.95		
Distributions										
Account Number	Account Name	Project	Account Key	Amount	Percent					
001-4405-1550	Operating Supplies & Exp.			52.95	100.00%					

Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
POLICE	NA	0.00	0.00	93.51	0.00	0.00	0.00	93.51		
Distributions										
Account Number	Account Name	Project	Account Key	Amount	Percent					
001-4200-1550	Operating Supplies & Exp.			93.51	100.00%					

Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE	NA	0.00	0.00	192.26	0.00	0.00	0.00	192.26		
Distributions										
Account Number	Account Name	Project	Account Key	Amount	Percent					
001-4120-1550	Operating Supplies & Exp.			192.26	100.00%					

Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FIRE	NA	0.00	0.00	50.01	0.00	0.00	0.00	50.01		
Distributions										
Account Number	Account Name	Project	Account Key	Amount	Percent					
001-4220-1550	Operating Supplies & Exp.			50.01	100.00%					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code	On Hold								
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADMIN & HR Distributions	NA	0.00	0.00	259.27	0.00	0.00	0.00	259.27		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4105-1550	Operating Supplies & Exp.				259.27	100.00%				
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
RECREATION Distributions	NA	0.00	0.00	40.18	0.00	0.00	0.00	40.18		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4300-1550	Operating Supplies & Exp.				40.18	100.00%				

Vendor: [USA01 - U.S.A. BLUEBOOK INC.](#) Vendor Total: 468.21

INV00575225	Invoice	12/20/2024	12/20/2024	12/20/2024	12/20/2024	468.21	0.00	0.00	0.00	468.21
WWTP - CUST#:322222 GLASS FIBER FILTER						Warr Bank Acct - Warrants Bank Account No				
TSS Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WWTP - CUST#:322222 GLASS FIBER FILTER TSS Distributions	NA	0.00	0.00	468.21	0.00	0.00	0.00	468.21		
Account Number	Account Name	Project Account Key			Amount	Percent				
012-4425-1550	Operating Supplies & Exp.				468.21	100.00%				

Vendor: [VAL03 - DEVIN VALDIVIA](#) Vendor Total: 300.00

10192024	Invoice	10/19/2024	10/19/2024	10/19/2024	10/19/2024	300.00	0.00	0.00	0.00	300.00
WWTP - CHECK REQUEST - WORK BOOTS BOUGHT ONLINE						Warr Bank Acct - Warrants Bank Account No				
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
JIM GREEN BOOTS Distributions	NA	0.00	0.00	300.00	0.00	0.00	0.00	300.00		
Account Number	Account Name	Project Account Key			Amount	Percent				
012-4425-0450	Other Benefits				300.00	100.00%				

Vendor: [VER05 - VERIZON WIRELESS](#) Vendor Total: 542.43

6100680710	Invoice	12/8/2024	12/8/2024	12/8/2024	12/8/2024	237.94	0.00	0.00	0.00	237.94
FIRE - ACCT#:942045079-00001 - COMMUNICATIONS						Warr Bank Acct - Warrants Bank Account No				
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FIRE - COMMUNICATIONS Distributions	NA	0.00	0.00	237.94	0.00	0.00	0.00	237.94		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4220-1150	Communications				237.94	100.00%				
6101817680	Invoice	1/14/2025	1/14/2025	1/14/2025	1/14/2025	304.49	0.00	0.00	0.00	304.49
PD - ACCT#:742070155-00001 - COMMUNICATION						Warr Bank Acct - Warrants Bank Account No				
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
PD - ACCT#:742070155-00001 - COMMUNICATION Distributions	NA	0.00	0.00	304.49	0.00	0.00	0.00	304.49		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4200-1150	Communications				304.49	100.00%				

Vendor: [VES01 - VESTIS GROUP, INC.](#) Vendor Total: 880.45

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
26897674	Invoice	12/10/2024	12/10/2024	12/10/2024	12/10/2024	162.00	0.00	0.00	0.00	162.00
STREETS - CUSTOM EMBROIDERY, CARH SUPR DUX LGTWT					On Hold					
Warr Bank Acct - Warrants Bank Account					No					

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - CUSTOM EMBROIDERY, CARH SUPR DUX LGTWT	NA	0.00	0.00	97.20	0.00	0.00	0.00	97.20

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
071-4454-0100	Salaries - Regular		97.20	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - CUSTOM EMBROIDERY, CARH SUPR DUX LGTWT	NA	0.00	0.00	16.20	0.00	0.00	0.00	16.20

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
010-4420-0100	Salaries - Regular		16.20	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - CUSTOM EMBROIDERY, CARH SUPR DUX LGTWT	NA	0.00	0.00	16.20	0.00	0.00	0.00	16.20

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
012-4425-0100	Salaries - Regular		16.20	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - CUSTOM EMBROIDERY, CARH SUPR DUX LGTWT	NA	0.00	0.00	16.20	0.00	0.00	0.00	16.20

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
023-4461-0100	Salaries - Regular		16.20	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - CUSTOM EMBROIDERY, CARH SUPR DUX LGTWT	NA	0.00	0.00	8.05	0.00	0.00	0.00	8.05

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
060-4490-0100	Salaries - Regular		8.05	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - CUSTOM EMBROIDERY, CARH SUPR DUX LGTWT	NA	0.00	0.00	8.15	0.00	0.00	0.00	8.15

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
063-4472-0100	Salaries - Regular		8.15	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
BUILDING - ACCT#:170454000 - UNIFORM SERVICE	NA	0.00	0.00	86.78	0.00	0.00	0.00	86.78

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
001-4145-2150	Professional Services		86.78	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
BUILDING - ACCT#:170454000 - UNIFORM SERVICE	NA	0.00	0.00	86.78	0.00	0.00	0.00	86.78

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
5020702935	Salaries - Regular		94.61	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
BUILDING - ACCT#:170454000 - UNIFORM SERVICE	NA	0.00	0.00	94.61	0.00	0.00	0.00	94.61

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - ACCT#:170454000 - UNIFORM SERVICE Distributions	NA		0.00	0.00	7.83	0.00	0.00	0.00	7.83	
Account Number	Account Name		Project Account Key		Amount	Percent				
063-4472-2150	Professional services				7.83	100.00%				
5020707821	Invoice	12/23/2024	12/23/2024	12/23/2024	12/23/2024	50.13	0.00	0.00	0.00	50.13
WATER - ACCT#:170454000 - UNIFORM SERVICE										
Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER - ACCT#:170454000 - UNIFORM SERVICE Distributions	NA		0.00	0.00	50.13	0.00	0.00	0.00	50.13	
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-2150	Professional Services				50.13	100.00%				
5020707845	Invoice	12/23/2024	12/23/2024	12/23/2024	12/23/2024	94.10	0.00	0.00	0.00	94.10
BUILDING - ACCT#:170454000 - UNIFORM SERVICE										
Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - ACCT#:170454000 - UNIFORM SERVICE Distributions	NA		0.00	0.00	86.78	0.00	0.00	0.00	86.78	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4145-2150	Professional Services				86.78	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - ACCT#:170454000 - UNIFORM SERVICE Distributions	NA		0.00	0.00	7.32	0.00	0.00	0.00	7.32	
Account Number	Account Name		Project Account Key		Amount	Percent				
063-4472-2150	Professional services				7.32	100.00%				
5020707848	Invoice	12/23/2024	12/23/2024	12/23/2024	12/23/2024	8.92	0.00	0.00	0.00	8.92
STREETS - ACCT#:170454000 - UNIFORM SERVICE										
Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:170454000 - UNIFORM SERVICE Distributions	NA		0.00	0.00	5.35	0.00	0.00	0.00	5.35	
Account Number	Account Name		Project Account Key		Amount	Percent				
071-4454-0100	Salaries - Regular				5.35	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:170454000 - UNIFORM SERVICE Distributions	NA		0.00	0.00	0.89	0.00	0.00	0.00	0.89	
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-0100	Salaries - Regular				0.89	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:170454000 - UNIFORM SERVICE Distributions	NA		0.00	0.00	0.89	0.00	0.00	0.00	0.89	
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-0100	Salaries - Regular				0.89	100.00%				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:170454000 - UNIFORM SERVICE	NA		0.00	0.00	0.89	0.00	0.00	0.00	0.89	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
023-4461-0100	Salaries - Regular				0.89	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:170454000 - UNIFORM SERVICE	NA		0.00	0.00	0.45	0.00	0.00	0.00	0.45	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
060-4490-0100	Salaries - Regular				0.45	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:170454000 - UNIFORM SERVICE	NA		0.00	0.00	0.45	0.00	0.00	0.00	0.45	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
063-4472-0100	Salaries - Regular				0.45	100.00%				
5020707913	Invoice	12/23/2024	12/23/2024	12/23/2024	12/23/2024	136.00	0.00	0.00	0.00	136.00
PD - ACFT#:792232905 - MA... Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
PD - ACFT#:792232905 - MAT NYLON/RUBBER	NA		0.00	0.00	136.00	0.00	0.00	0.00	136.00	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4200-2150	Professional services				136.00	100.00%				
5020712504	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	50.13	0.00	0.00	0.00	50.13
WATER - UNIFORM SERVICES AND RESTROOM SUPPLIES Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER - UNIFORM SERVICES AND RESTROOM SUPPLIES	NA		0.00	0.00	50.13	0.00	0.00	0.00	50.13	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-2150	Professional Services				50.13	100.00%				
5020712509	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	94.10	0.00	0.00	0.00	94.10
BUILDING - ACCT#:170454000 UNIFORM SERVICE Warr Bank Acct - Warrants Bank Account No										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - ACCT#:170454000 UNIFORM SERVICE	NA		0.00	0.00	86.78	0.00	0.00	0.00	86.78	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4145-2150	Professional Services				86.78	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - ACCT#:170454000 UNIFORM SERVICE	NA		0.00	0.00	7.32	0.00	0.00	0.00	7.32	
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
063-4472-2150	Professional services				7.32	100.00%				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
5020712510	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	8.92	0.00	0.00	0.00	8.92
STREETS - ACCT#:170454000 UNIFORM SERVICE		Warr Bank Acct - Warrants Bank Account		No						

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE	NA	0.00	0.00	5.35	0.00	0.00	0.00	5.35

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
071-4454-0100	Salaries - Regular		5.35	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE	NA	0.00	0.00	0.89	0.00	0.00	0.00	0.89

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
010-4420-0100	Salaries - Regular		0.89	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE	NA	0.00	0.00	0.89	0.00	0.00	0.00	0.89

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
012-4425-0100	Salaries - Regular		0.89	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE	NA	0.00	0.00	0.89	0.00	0.00	0.00	0.89

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
023-4461-0100	Salaries - Regular		0.89	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE	NA	0.00	0.00	0.45	0.00	0.00	0.00	0.45

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
060-4490-0100	Salaries - Regular		0.45	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE	NA	0.00	0.00	0.45	0.00	0.00	0.00	0.45

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
063-4472-0100	Salaries - Regular		0.45	100.00%

5020717241	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	28.39	0.00	0.00	0.00	28.39
WWTP - ACCT#:170454000 UNIFORM SERVICE		Warr Bank Acct - Warrants Bank Account		No						

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
WWTP - ACCT#:170454000 UNIFORM SERVICE	NA	0.00	0.00	28.39	0.00	0.00	0.00	28.39

Distributions

Account Number	Account Name	Project Account Key	Amount	Percent
012-4425-2150	Professional Services		28.39	100.00%

5020717243	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	50.13	0.00	0.00	0.00	50.13
WATER - ACCT#:170454000 - UNIFORM SERVICE		Warr Bank Acct - Warrants Bank Account		No						

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description Items										
Item Description		Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total
WATER - ACCT#:170454000 - UNIFORM SERVICE		NA		0.00	0.00	50.13	0.00	0.00	0.00	50.13
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-2150	Professional Services				50.13	100.00%				
5020717248	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	94.10	0.00	0.00	0.00	94.10
BUILDING - ACCT#:170454000 - UNIFORM SERVICE										
		Warr Bank Acct - Warrants Bank Account		No						
Payable Description Items										
Item Description		Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total
BUILDING - ACCT#:170454000 - UNIFORM SERVICE		NA		0.00	0.00	86.78	0.00	0.00	0.00	86.78
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4145-2150	Professional Services				86.78	100.00%				
Items										
Item Description		Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total
BUILDING - ACCT#:170454000 - UNIFORM SERVICE		NA		0.00	0.00	7.32	0.00	0.00	0.00	7.32
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
063-4472-2150	Professional services				7.32	100.00%				
5020717249	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	8.92	0.00	0.00	0.00	8.92
STREETS - ACCT#:170454000 UNIFORM SERVICE										
		Warr Bank Acct - Warrants Bank Account		No						
Payable Description Items										
Item Description		Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE		NA		0.00	0.00	5.35	0.00	0.00	0.00	5.35
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
071-4454-0100	Salaries - Regular				5.35	100.00%				
Items										
Item Description		Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE		NA		0.00	0.00	0.89	0.00	0.00	0.00	0.89
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-0100	Salaries - Regular				0.89	100.00%				
Items										
Item Description		Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE		NA		0.00	0.00	0.89	0.00	0.00	0.00	0.89
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-0100	Salaries - Regular				0.89	100.00%				
Items										
Item Description		Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total
STREETS - ACCT#:170454000 UNIFORM SERVICE		NA		0.00	0.00	0.89	0.00	0.00	0.00	0.89
Distributions										
Account Number	Account Name		Project Account Key		Amount	Percent				
023-4461-0100	Salaries - Regular				0.89	100.00%				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code	On Hold								
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
STREETS - ACCT#:170454000 UNIFORM SERVICE Distributions	NA	0.00	0.00	0.45	0.00	0.00	0.00	0.45		
Account Number	Account Name	Project Account Key			Amount	Percent				
060-4490-0100	Salaries - Regular				0.45	100.00%				

Vendor: [VID01 - JAIME N. VIDALES](#) **Vendor Total:** 90.00

[01132025](#) Invoice 1/13/2025 1/13/2025 1/13/2025 1/13/2025 90.00 0.00 0.00 0.00 90.00

WATER - REIMBURSEMENT FOR D3 RE-CERTIFICATION Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
WATER - REIMBURSEMENT FOR D3 RE-CERTIFICATION Distributions	NA	0.00	0.00	90.00	0.00	0.00	0.00	90.00		
Account Number	Account Name	Project Account Key			Amount	Percent				
010-4420-1300	Business Expense/Training				90.00	100.00%				

Vendor: [VLO01 - V. LOPEZ JR. & SONS](#) **Vendor Total:** 78,968.14

[14205](#) Invoice 12/19/2024 12/19/2024 12/19/2024 12/19/2024 32,815.00 0.00 0.00 0.00 32,815.00

FINANCE - JACK O'CONNEL PARKING LOT Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - JACK O'CONNEL PARKING LOT - ARPA Distributions	NA	0.00	0.00	32,815.00	0.00	0.00	0.00	32,815.00		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4300-2150	Professional services				32,815.00	100.00%				

[14206](#) Invoice 12/19/2024 12/19/2024 12/19/2024 12/19/2024 18,873.00 0.00 0.00 0.00 18,873.00

FINANCE - SENIOR CENTER Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - SENIOR CENTER - ARPA Distributions	NA	0.00	0.00	18,873.00	0.00	0.00	0.00	18,873.00		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4145-2150	Professional Services				18,873.00	100.00%				

[14213](#) Invoice 12/23/2024 12/23/2024 12/23/2024 12/23/2024 27,280.14 0.00 0.00 0.00 27,280.14

STREETS - REMOVE AND REPLACE DAMAGED CROSS WALK Warr Bank Acct - Warrants Bank Account No

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
REMOVE AND REPLACE DAMAGED CROSS WALK POLES Distributions	NA	0.00	0.00	27,280.14	0.00	0.00	0.00	27,280.14		
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-2150	Professional Services				27,280.14	100.00%				

Vendor: [VRC01 - VITAL RECORDS CONTROL](#) **Vendor Total:** 196.10

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
4681490	Invoice	12/31/2024	12/31/2024	12/31/2024	12/31/2024	196.10	0.00	0.00	0.00	196.10
ADM - SHREDDING SERVICES - JAN 2025		Warr Bank Acct - Warrants Bank Account		No						

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
ADMIN Distributions	NA	0.00	0.00	49.02	0.00	0.00	0.00	49.02

Account Number	Account Name	Project Account Key	Amount	Percent
001-4105-2150	Professional Services		49.02	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
BUILDING Distributions	NA	0.00	0.00	49.02	0.00	0.00	0.00	49.02

Account Number	Account Name	Project Account Key	Amount	Percent
001-4405-2150	Professional Services		49.02	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
FINANCE Distributions	NA	0.00	0.00	49.02	0.00	0.00	0.00	49.02

Account Number	Account Name	Project Account Key	Amount	Percent
001-4120-2150	Professional services		49.02	100.00%

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
PD Distributions	NA	0.00	0.00	49.04	0.00	0.00	0.00	49.04

Account Number	Account Name	Project Account Key	Amount	Percent
001-4200-2150	Professional services		49.04	100.00%

Vendor: [WAL01 - WALLACE GROUP,A CALIFORNIA](#) Vendor Total: 6,072.50

63865	Invoice	12/27/2024	12/27/2024	12/27/2024	12/27/2024	6,072.50	0.00	0.00	0.00	6,072.50
ADM -AMTRACK STATION TRASIT HUB REHAB		Warr Bank Acct - Warrants Bank Account		No						

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
ADM -AMTRACK STATION TRASIT HUB REHAB Distributions	NA	0.00	0.00	6,072.50	0.00	0.00	0.00	6,072.50

Account Number	Account Name	Project Account Key	Amount	Percent
089-4444-3097	Amtrak Station Rehab Design		6,072.50	100.00%

Vendor: [WHI05 - WHITTLE FIRE PROTECTION](#) Vendor Total: 1,221.00

241126M44	Invoice	12/9/2024	12/9/2024	12/9/2024	12/9/2024	389.00	0.00	0.00	0.00	389.00
BUILDING - KITCHEN SUPPRESSION SYSTEM INSPECTION		Warr Bank Acct - Warrants Bank Account		No						

Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
KITCHEN SUPPRESSION SYSTEM INSPECTION-VETS HALL Distributions	NA	0.00	0.00	389.00	0.00	0.00	0.00	389.00

Account Number	Account Name	Project Account Key	Amount	Percent
001-4145-2150	Professional Services		389.00	100.00%

[241126M46](#) Invoice 12/9/2024 12/9/2024 12/9/2024 12/9/2024 407.00 0.00 0.00 0.00 407.00

BUILDING-KITCHEN SUPPRESSION SYSTEM INSPECTION-		Warr Bank Acct - Warrants Bank Account		No						
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Items

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
KITCHEN SUPPRESSION SYSTEM INSPECTION-CITY HALL Distributions	NA	0.00	0.00	407.00	0.00	0.00	0.00	407.00

Account Number	Account Name	Project Account Key	Amount	Percent
001-4145-2150	Professional Services		407.00	100.00%

Payable Register

Packet: APPKT00459 - 01.28.25 BIWEEKLY RUN

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
241126M47	Invoice	12/9/2024	12/9/2024	12/9/2024	12/9/2024	425.00	0.00	0.00	0.00	425.00
BUILDING - KITCHEN SUPPRESSION SYSTEM INSPECTION		Warr Bank Acct - Warrants Bank Account		No						

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
KITCHEN SUPPRESSION SYS INSPECTION- SENIOR CENTER	NA	0.00	0.00	425.00	0.00	0.00	0.00	425.00

Account Number	Account Name	Project Account Key	Amount	Percent
001-4145-2150	Professional Services		425.00	100.00%

Vendor: [WRI01 - ROBERT WRIGHT](#) Vendor Total: 425.00

01142025	Invoice	1/14/2025	1/14/2025	1/14/2025	1/14/2025	425.00	0.00	0.00	0.00	425.00
PD -CHECK REQUEST-UNIFORM ALLOWANCE REIMBURSEMENT		Warr Bank Acct - Warrants Bank Account		No						

Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total
BOOTS, GLOVES, TASER	NA	0.00	0.00	425.00	0.00	0.00	0.00	425.00

Account Number	Account Name	Project Account Key	Amount	Percent
001-4200-0450	Other Benefits		425.00	100.00%

Payable Summary

Type	Count	Gross	Tax	Shipping	Discount	Total	Manual Payment	Balance
Credit Memo	1	-109.28	0.00	0.00	0.00	-109.28	0.00	-109.28
Invoice	176	447,124.17	0.00	0.00	0.00	447,124.17	0.00	447,124.17
Grand Total:		447,014.89	0.00	0.00	0.00	447,014.89	0.00	447,014.89

Project Summary

Project Number	Project Name	Count	Account Key	Account Name	Amount
2022-088-VM	Trudy Brands	1	2022-088-VM	Deposits/Expenses toward Buildi...	285.00
Project 2022-088-VM Total:					285.00
2024-036-LS	Shallanberger Lot Split-640 G...	1	2024-036-LS	5th Street & Tognazzini Lot Devel...	95.00
Project 2024-036-LS Total:					95.00
2024-054-CUP	301 Guadalupe Street Central..	1	2024-054-CUP	Expenses toward Building Permit...	142.50
Project 2024-054-CUP Total:					142.50
2024-057-DR	4646 8th Street Apartments	1	2024-057-DR	Expenses toward Building Permit...	285.00
Project 2024-057-DR Total:					285.00
Grand Total:					807.50

Account Summary

Account	Name	Amount
001-2004	D.J. FARMS	665.00
001-2048	Building Permit Deposits	807.50
001-2055	Guadalupe H-2A Housing "Lopez CUP"	475.00
001-2271	Guadalupe Ranch Acres	190.00
001-4105-1200	Office Supplies & Postage	214.05
001-4105-1550	Operating Supplies & Exp.	259.27
001-4105-1600	Elections	9,678.42
001-4105-2150	Professional Services	5,869.68
001-4110-2150	Professional services	671.00
001-4120-1200	Office Supplies & Postage	42.64
001-4120-1550	Operating Supplies & Exp.	267.27
001-4120-2150	Professional services	2,031.28
001-4140-1750	Bank Service Charges	47.24
001-4140-2150	Professional Services	7,965.00
001-4140-2151	Information Technology Svcs	10,957.66
001-4145-1000	Utilities	771.37
001-4145-1550	Operating Supplies & Exp.	503.19
001-4145-2150	Professional Services	107,865.70
001-4200-0450	Other Benefits	1,339.58
001-4200-1150	Communications	567.50
001-4200-1200	Office Supplies & Postage	24.99
001-4200-1400	Equipment Maintenance	175.00
001-4200-1460	Vehicle Maintenance	1,725.96
001-4200-1501	Equipment < or = \$5000	296.84
001-4200-1550	Operating Supplies & Exp.	402.14
001-4200-1560	Fuel & lubricants	1,497.55
001-4200-2150	Professional services	185.04
001-4200-2350	Services by other Agencies	6,178.22
001-4220-0450	Other Benefits	760.18
001-4220-1150	Communications	295.15
001-4220-1460	Vehicle Maintenance	2,100.18
001-4220-1550	Operating Supplies & Exp.	192.75
001-4220-2350	Services by other Agencies	2,013.09
001-4300-1000	Utilities	6,822.28
001-4300-1550	Operating Supplies & Exp.	26,880.05
001-4300-1560	Fuel & lubricants	391.48
001-4300-2150	Professional services	42,296.76
001-4405-1550	Operating Supplies & Exp.	52.95
001-4405-2150	Professional Services	1,811.52
001-HEMP-2150	Profl Services	937.50
Total:		246,227.98

Account	Name	Amount
010-4420-0100	Salaries - Regular	53.88
010-4420-1150	Communications	55.00
010-4420-1300	Business Expense/Training	90.00
010-4420-1460	Vehicle maintenance	193.33
010-4420-1550	Operating Supplies & Exp.	1,745.86
010-4420-1560	Fuel & lubricants	260.78
010-4420-1750	Bank Service Charges	100.00
010-4420-2150	Professional Services	8,847.98
010-4420-2350	Services by other Agencies	9,182.52
Total:		20,529.35

Account	Name	Amount
012-4425-0100	Salaries - Regular	53.88
012-4425-0450	Other Benefits	300.00

Account Summary

Account	Name	Amount
012-4425-1000	Utilities	4,459.10
012-4425-1460	Vehicle maintenance	168.33
012-4425-1550	Operating Supplies & Exp.	1,102.78
012-4425-2150	Professional Services	13,073.70
Total:		19,157.79

Account	Name	Amount
023-4461-0100	Salaries - Regular	53.88
023-4461-2150	Professional Services	209.00
Total:		262.88

Account	Name	Amount
060-4490-0100	Salaries - Regular	26.90
060-4490-1000	Utilities	142.60
Total:		169.50

Account	Name	Amount
063-4472-0100	Salaries - Regular	27.05
063-4472-1000	Utilities	2,395.69
063-4472-2150	Professional services	29.79
Total:		2,452.53

Account	Name	Amount
071-4454-0100	Salaries - Regular	323.35
071-4454-1000	Utilities	894.05
071-4454-1550	Operating Supplies & Exp.	2,524.23
071-4454-1560	Fuels & Lubricants	219.61
071-4454-2150	Professional Services	31,612.14
Total:		35,573.38

Account	Name	Amount
079-4542-1000	Utilities	93.26
079-4542-2166	Activity	38,889.90
Total:		38,983.16

Account	Name	Amount
089-4444-3050	Royal Theater (089-109)	380.00
089-4444-3051	Leroy Park	760.00
089-4444-3053	Central Park (089-205)	190.00
089-4444-3054	LeRoy Park Phase 2 (089-204)	95.00
089-4444-3069	Street Rehab FY24 (089-312)	3,675.00
089-4444-3075	Building Improvements (089-108)	5,367.50
089-4444-3082	Pioneer Lift Station (089-511)	2,642.88
089-4444-3084	Hwy 1 Lift Station	1,482.38
089-4444-3097	Amtrak Station Rehab Design	8,257.50
089-4444-3104	308 Obispo Street Site Improvements(089-607)	760.00
089-4444-3105	WWTP Improvements	60,000.00
Total:		83,610.26

Account	Name	Amount
107-4018-2150	Profl Services	44.92

Account Summary

<u>Account</u>	<u>Name</u>	<u>Amount</u>
107-4018-2166	Activity	3.14
Total:		48.06



Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code				On Hold					
Vendor: CAR09 - CARMEMBER SERVICE										Vendor Total: 985.38
0085	Invoice	12/8/2024	12/8/2024	12/8/2024	12/8/2024	200.00	0.00	0.00	0.00	200.00
P&R - SUNSET NORTH CAR WASH AND DETAIL Warr Bank Acct - Warrants Bank Account						No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
P&R - SUNSET NORTH CAR WASH AND DETAIL	NA		0.00	0.00	200.00	0.00	0.00	0.00	200.00	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4300-1460	Vehicle Maintenance				200.00	100.00%				
0815	Invoice	12/14/2024	12/14/2024	12/14/2024	12/14/2024	8.99	0.00	0.00	0.00	8.99
P&R - APPLE.COM Warr Bank Acct - Warrants Bank Account						No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
P&R - APPLE.COM	NA		0.00	0.00	8.99	0.00	0.00	0.00	8.99	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4300-1350	Memberships, dues,subscriptions				8.99	100.00%				
0854	Invoice	12/19/2024	12/19/2024	12/19/2024	12/19/2024	33.50	0.00	0.00	0.00	33.50
HR - LA FUENTE DELI Warr Bank Acct - Warrants Bank Account						No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
HR - LA FUENTE DELI - COFFEE, DONUTS	NA		0.00	0.00	33.50	0.00	0.00	0.00	33.50	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4100-1300	Business Expense/Training				33.50	100.00%				
12052024	Invoice	12/5/2024	12/5/2024	12/5/2024	12/5/2024	31.46	0.00	0.00	0.00	31.46
INTEREST Warr Bank Acct - Warrants Bank Account						No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
INTEREST	NA		0.00	0.00	31.46	0.00	0.00	0.00	31.46	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4140-1750	Bank Service Charges				31.46	100.00%				
1864	Invoice	12/13/2024	12/13/2024	12/13/2024	12/13/2024	1.67	0.00	0.00	0.00	1.67
ADM - BACKBLAZE INC Warr Bank Acct - Warrants Bank Account						No				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
ADM - BACKBLAZE INC	NA		0.00	0.00	1.67	0.00	0.00	0.00	1.67	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4105-1550	Operating Supplies & Exp.				1.67	100.00%				
2606	Invoice	12/6/2024	12/6/2024	12/6/2024	12/6/2024	58.96	0.00	0.00	0.00	58.96
P&R - TARGET DECOR FOR TRUCK AND CHRISTMAS PARADE Warr Bank Acct - Warrants Bank Account						No				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
3733	Invoice	12/6/2024	12/6/2024	12/6/2024	12/6/2024	13.00	0.00	0.00	0.00	13.00
P&R - TARGET DECOR FOR TRUCK AND CHRISTMAS PARADE Distributions										
<u>001-4300-1550</u>	Account Name		Project Account Key		Amount	Percent				
	Operating Supplies & Exp.				58.96	100.00%				
Warr Bank Acct - Warrants Bank Account No										
4635	Invoice	12/15/2024	12/15/2024	12/15/2024	12/15/2024	8.99	0.00	0.00	0.00	8.99
P&R - APPLE.COM Distributions										
<u>001-4105-1300</u>	Account Name		Project Account Key		Amount	Percent				
	Vehicle Maintenance				13.00	100.00%				
Warr Bank Acct - Warrants Bank Account No										
6426	Invoice	12/10/2024	12/10/2024	12/10/2024	12/10/2024	85.25	0.00	0.00	0.00	85.25
ADM - LA FUENTE DELI - SNACK FOR CITY COUNCIL Distributions										
<u>001-4100-1300</u>	Account Name		Project Account Key		Amount	Percent				
	Business Expense/Training				85.25	100.00%				
Warr Bank Acct - Warrants Bank Account No										
6429	Invoice	12/8/2024	12/8/2024	12/8/2024	12/8/2024	0.99	0.00	0.00	0.00	0.99
P&R - APPLE.COM BILL Distributions										
<u>001-4100-1350</u>	Account Name		Project Account Key		Amount	Percent				
	Memberships, dues,subscriptions				0.99	100.00%				
Warr Bank Acct - Warrants Bank Account No										
6508	Invoice	12/4/2024	12/4/2024	12/4/2024	12/4/2024	54.09	0.00	0.00	0.00	54.09
HR - WALMART - CPR TRAINING Distributions										
<u>001-4105-1300</u>	Account Name		Project Account Key		Amount	Percent				
	Business Expense/Training				54.09	100.00%				
Warr Bank Acct - Warrants Bank Account No										
8581	Invoice	12/23/2024	12/23/2024	12/23/2024	12/23/2024	148.54	0.00	0.00	0.00	148.54
ADM - SMART AND FINAL - SUPPLIES FOR SENIRO CENTER										
Warr Bank Acct - Warrants Bank Account No										

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code					On Hold				
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
ADM - SMART AND FINAL - SUPPLIES FOR SENIRO CENTER Distributions	NA	0.00	0.00	148.54	0.00	0.00	0.00	148.54		
Account Number	Account Name	Project Account Key			Amount	Percent				
107-4018-2166	Activity				148.54	100.00%				
8866	Invoice	12/4/2024	12/4/2024	12/4/2024	12/4/2024	339.94	0.00	0.00	0.00	339.94
HR - LA FUENTE - CPR TRAINING	Warr Bank Acct - Warrants Bank Account	No								
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
HR - LA FUENTE - CPR TRAINING Distributions	NA	0.00	0.00	339.94	0.00	0.00	0.00	339.94		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4105-1300	Business Expense/Training				339.94	100.00%				

Vendor: [CHA03 - CHARTER COMMUNICATIONS](#) **Vendor Total: 11.28**

119116501122124	Invoice	12/21/2024	12/21/2024	12/21/2024	12/21/2024	11.28	0.00	0.00	0.00	11.28
BUILDING - ACCT#:119116501	Warr Bank Acct - Warrants Bank Account	No								
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - ACCT#:119116501 Distributions	NA	0.00	0.00	11.28	0.00	0.00	0.00	11.28		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4145-1150	Communications				11.28	100.00%				

Vendor: [FRO01 - FRONTIER COMMUNICATIONS](#) **Vendor Total: 715.93**

8053430362071955-12042024	Invoice	12/4/2024	12/4/2024	12/4/2024	12/4/2024	630.25	0.00	0.00	0.00	630.25
BUILDING - ACCT#: 805-343-0362-071975-5	Warr Bank Acct - Warrants Bank Account	No								
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - ACCT#: 805-343-0362-071975-5 Distributions	NA	0.00	0.00	630.25	0.00	0.00	0.00	630.25		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4145-1150	Communications				630.25	100.00%				
80534355120415885-12042024	Invoice	12/4/2024	12/4/2024	12/4/2024	12/4/2024	85.68	0.00	0.00	0.00	85.68
BUILDING - ACCT#:805-343-5512-041588-5	Warr Bank Acct - Warrants Bank Account	No								
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - ACCT#:805-343-5512-041588-5 Distributions	NA	0.00	0.00	85.68	0.00	0.00	0.00	85.68		
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4145-1150	Communications				85.68	100.00%				

Vendor: [PAC01 - PACIFIC GAS & ELECTRIC](#) **Vendor Total: 58,840.32**

04066865389-12302024	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	1,341.29	0.00	0.00	0.00	1,341.29
FINANCE - ACCT#: 0406686538-9 - 4545 10TH ST	Warr Bank Acct - Warrants Bank Account	No								
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
FINANCE - ACCT#: 0406686538-9 - 4545 10TH ST Distributions	NA	0.00	0.00	1,341.29	0.00	0.00	0.00	1,341.29		
Account Number	Account Name	Project Account Key			Amount	Percent				
107-4018-1000	Utilities				1,341.29	100.00%				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
2752772449-12272024	Invoice	12/27/2024	12/27/2024	12/27/2024	12/27/2024	12,556.02	0.00	0.00	0.00	12,556.02
STREETS - ACCT#:275277244-9		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
STREETS - ACCT#:275277244-9	NA	0.00	0.00	12,556.02	0.00	0.00	0.00	12,556.02		
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
010-4420-1000	Utilities				12,556.02	100.00%				
34721461480-12262024	Invoice	12/26/2024	12/26/2024	12/26/2024	12/26/2024	26,418.63	0.00	0.00	0.00	26,418.63
STREETS- ACCT#:3472146148-0		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
STREETS- ACCT#:3472146148-0	NA	0.00	0.00	26,418.63	0.00	0.00	0.00	26,418.63		
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
012-4425-1000	Utilities				26,418.63	100.00%				
37314910755-12302024	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	362.76	0.00	0.00	0.00	362.76
BUILDING - ACCT#:3731491075-5 - 1015		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - ACCT#:3731491075-5 - 1015	NA	0.00	0.00	362.76	0.00	0.00	0.00	362.76		
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4145-1000	Utilities				362.76	100.00%				
38494108814-12232024	Invoice	12/23/2024	12/23/2024	12/23/2024	12/23/2024	4,816.47	0.00	0.00	0.00	4,816.47
STREETS- ACCT#: 3849410881-4		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
STREETS- ACCT#: 3849410881-4	NA	0.00	0.00	4,816.47	0.00	0.00	0.00	4,816.47		
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
012-4425-1000	Utilities				4,816.47	100.00%				
53981763310-12302024	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	1,891.88	0.00	0.00	0.00	1,891.88
BUILDING - ACCT#:5398176331-0		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
BUILDING - ACCT#:5398176331-0	NA	0.00	0.00	1,891.88	0.00	0.00	0.00	1,891.88		
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4145-1000	Utilities				1,891.88	100.00%				
54020320641-12242024	Invoice	12/24/2024	12/24/2024	12/24/2024	12/24/2024	3,360.66	0.00	0.00	0.00	3,360.66
STREETS - ACCT#: 5402032064-1		Warr Bank Acct - Warrants Bank Account			No					
Items										
Item Description	Commodity	Units	Price	Amount	Tax	Shipping	Discount	Total		
STREETS - ACCT#: 5402032064-1	NA	0.00	0.00	3,360.66	0.00	0.00	0.00	3,360.66		
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4145-1000	Utilities				3,360.66	100.00%				
57830364428-01062025	Invoice	1/6/2025	1/6/2025	1/6/2025	1/6/2025	6,848.40	0.00	0.00	0.00	6,848.40
STREETS - ACCT#:5783036442-8		Warr Bank Acct - Warrants Bank Account			No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description	Bank Code					On Hold				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:5783036442-8	NA		0.00	0.00	243.95	0.00	0.00	0.00	243.95	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
063-4472-1000	Utilities				243.95	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:5783036442-8	NA		0.00	0.00	6,604.45	0.00	0.00	0.00	6,604.45	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
071-4454-1000	Utilities				6,604.45	100.00%				
80092263971-12132024	Invoice	12/13/2024	12/13/2024	12/13/2024	12/13/2024	891.53	0.00	0.00	0.00	891.53
STREETS - ACCT#:8009226397-1-TR 29064	Warr Bank Acct - Warrants Bank Account				No					
PASADERA PH 3										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:8009226397-1-TR 29064	NA		0.00	0.00	891.53	0.00	0.00	0.00	891.53	
PASADERA PH 3										
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
063-4472-1000	Utilities				891.53	100.00%				
94721425414-12132024	Invoice	12/13/2024	12/13/2024	12/13/2024	12/13/2024	352.68	0.00	0.00	0.00	352.68
STREETS - ACCT#:9472142541-4 - TR 29061	Warr Bank Acct - Warrants Bank Account				No					
PHASE 2										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS - ACCT#:9472142541-4 - TR 29061	NA		0.00	0.00	352.68	0.00	0.00	0.00	352.68	
PHASE 2										
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
063-4472-1000	Utilities				352.68	100.00%				

Vendor: [SOU01 - SOUTHERN CALIFORNIA GAS](#)

Vendor Total: 899.82

09451463419-12302024	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	23.24	0.00	0.00	0.00	23.24
BUILDING - ACCT#:09451463419 - 1025	Warr Bank Acct - Warrants Bank Account				No					
GUADALUPE										
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING - ACCT#:0945146	NA		0.00	0.00	23.24	0.00	0.00	0.00	23.24	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4145-1000	Utilities				23.24	100.00%				
13401500874-11252024	Invoice	1/14/2025	1/14/2025	1/14/2025	1/14/2025	285.54	0.00	0.00	0.00	285.54
FINANCE - ACCT#:13401500874 - 4545 10TH ST	Warr Bank Acct - Warrants Bank Account				No					
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - ACCT#:13401500874 - 4545 10TH ST	NA		0.00	0.00	285.54	0.00	0.00	0.00	285.54	
Distributions										
Account Number	Account Name	Project Account Key			Amount	Percent				
107-4018-1000	Utilities				285.54	100.00%				
13401500874-12262024	Invoice	12/26/2024	12/26/2024	12/26/2024	12/26/2024	237.30	0.00	0.00	0.00	237.30
FINANCE - ACCT#:13401500874 - 4545 10TH ST	Warr Bank Acct - Warrants Bank Account				No					

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description		Bank Code	On Hold							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FINANCE - ACCT#:13401500874 - 4545 10TH ST Distributions	NA		0.00	0.00	237.30	0.00	0.00	0.00	237.30	
Account Number	Account Name		Project Account Key		Amount	Percent				
107-4018-1000	Utilities				237.30	100.00%				
15501500001-12302024	Invoice	12/30/2024	12/30/2024	12/30/2024	12/30/2024	353.74	0.00	0.00	0.00	353.74
BUILDING- ACCT#:15501500001	Warr Bank Acct - Warrants Bank Account		No							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
BUILDING- ACCT#:15501500001 Distributions	NA		0.00	0.00	353.74	0.00	0.00	0.00	353.74	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4145-1000	Utilities				353.74	100.00%				

Vendor: [VER05 - VERIZON WIRELESS](#)

Vendor Total: 1,111.75

6101458120	Invoice	12/18/2024	12/18/2024	12/18/2024	12/18/2024	1,111.75	0.00	0.00	0.00	1,111.75
ADM - COMMUNICATIONS	Warr Bank Acct - Warrants Bank Account		No							
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
STREETS Distributions	NA		0.00	0.00	223.34	0.00	0.00	0.00	223.34	
Account Number	Account Name		Project Account Key		Amount	Percent				
071-4454-1150	Communications				223.34	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WWTP Distributions	NA		0.00	0.00	171.59	0.00	0.00	0.00	171.59	
Account Number	Account Name		Project Account Key		Amount	Percent				
012-4425-1150	Communications				171.59	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
WATER Distributions	NA		0.00	0.00	251.61	0.00	0.00	0.00	251.61	
Account Number	Account Name		Project Account Key		Amount	Percent				
010-4420-1150	Communications				251.61	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
POLICE Distributions	NA		0.00	0.00	51.69	0.00	0.00	0.00	51.69	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4200-1150	Communications				51.69	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
PARKS Distributions	NA		0.00	0.00	129.23	0.00	0.00	0.00	129.23	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4300-1150	Communications				129.23	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FACILITIES Distributions	NA		0.00	0.00	77.53	0.00	0.00	0.00	77.53	
Account Number	Account Name		Project Account Key		Amount	Percent				
001-4145-1150	Communications				77.53	100.00%				

Payable Register

Payable #	Payable Type	Post Date	Payable Date	Due Date	Discount Date	Amount	Tax	Shipping	Discount	Total
Payable Description										
Items										
Item Description	Commodity	Bank Code	Units	Price	Amount	Tax	Shipping	Discount	Total	
FACILITIES Distributions	NA		0.00	0.00	103.38	0.00	0.00	0.00	103.38	
Account Information										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4105-1150	Communications				103.38	100.00%				
Items										
Item Description	Commodity		Units	Price	Amount	Tax	Shipping	Discount	Total	
FACILITIES Distributions	NA		0.00	0.00	103.38	0.00	0.00	0.00	103.38	
Account Information										
Account Number	Account Name	Project Account Key			Amount	Percent				
001-4120-1150	Communications				103.38	100.00%				

Payable Summary

Type	Count	Gross	Tax	Shipping	Discount	Total	Manual Payment	Balance
Invoice	31	62,564.48	0.00	0.00	0.00	62,564.48	0.00	62,564.48
	Grand Total:	62,564.48	0.00	0.00	0.00	62,564.48	0.00	62,564.48

Account Summary

Account	Name	Amount
001-4100-1300	Business Expense/Training	118.75
001-4100-1350	Memberships, dues,subscriptions	0.99
001-4105-1150	Communications	103.38
001-4105-1300	Business Expense/Training	403.02
001-4105-1550	Operating Supplies & Exp.	1.67
001-4120-1150	Communications	103.38
001-4140-1750	Bank Service Charges	31.46
001-4145-1000	Utilities	5,992.28
001-4145-1150	Communications	804.74
001-4200-1150	Communications	51.69
001-4300-1150	Communications	129.23
001-4300-1350	Memberships, dues,subscriptions	8.99
001-4300-1460	Vehicle Maintenance	213.00
001-4300-1550	Operating Supplies & Exp.	58.96
Total:		8,021.54

Account	Name	Amount
010-4420-1000	Utilities	12,556.02
010-4420-1150	Communications	251.61
Total:		12,807.63

Account	Name	Amount
012-4425-1000	Utilities	31,235.10
012-4425-1150	Communications	171.59
Total:		31,406.69

Account	Name	Amount
063-4472-1000	Utilities	1,488.16
Total:		1,488.16

Account	Name	Amount
071-4454-1000	Utilities	6,604.45
071-4454-1150	Communications	223.34
Total:		6,827.79

Account	Name	Amount
107-4018-1000	Utilities	1,864.13
107-4018-2166	Activity	148.54
Total:		2,012.67

Minutes

City of Guadalupe
Regular Meeting of the Guadalupe City Council
And Special Meeting of the
Successor Agency to the Guadalupe Redevelopment Agency Board

Tuesday, January 14, 2025, at 6:00 pm
City Hall, 918 Obispo Street, Council Chambers

1. ROLL CALL:

Council Member Eugene Costa Jr.
Council Member Whitney Furness
Council Member Amelia M. Villegas
Mayor Pro Tempore Christina Hernandez
Mayor Ariston Julian

Mayor Julian called the meeting to order at 6:00 p.m. All members were present.

2. PLEDGE OF ALLEGIANCE

3. MOMENT OF THANKS, APPRECIATION OR CONDOLENCES.

4. AGENDA REVIEW

At this time the City Council will review the order of business to be conducted and receive requests for, or make announcements regarding, any change(s) in the order of business.

Mayor Julian changed item #12. "Regular Business" to become item #14. Capitol Campaign Royal Theater Renovation and item #13. Regulating Food Trucks and Sales Carts became item #12. with the remaining items following in sequential order.

5. COMMUNITY PARTICIPATION FORUM

Each person will be limited to a discussion of three (3) minutes or as directed by the Mayor. Pursuant to the provisions of the Brown Act, no action may be taken on these matters unless they are listed on the agenda, or unless certain emergency or special circumstances exist. City Council may direct staff to investigate and/or schedule certain matters for consideration at a future City Council meeting.

DEBRA SKYES
GEORGE ALVAREZ
AL NUNEZ

6. CEREMONIAL CALENDAR

- A. Human Trafficking Awareness Month Proclamation.

Mayor Julian recognized January 2025 as Human Trafficking Month

7. PRESENTATIONS

- A. Royal Theater Redesign Presentation (50% Completed) by Andrew Goodwin Designs
- B. Boys and Girls Club Quarterly Presentation

PUBLIC COMMENT ROYAL THEATER:

GRACE BUBULKA

GEORGE ALVAREZ

STEPHANIE KROUSE

8. CONSENT CALENDAR (A-D)

The following items are presented for City Council approval without discussion as a single agenda item in order to expedite the meeting. Should a Council Member wish to discuss or disapprove an item, it must be dropped from the blanket motion of approval and considered as a separate item.

- A. Waive the reading in full of all Ordinances and Resolutions. Ordinances on the Consent Calendar will be adopted by the same vote cast as the first meeting unless City Council indicates otherwise.
- B. Approve payment of warrants for the period ending January 3, 2025.
- C. Approve the Minutes of the City Council regular meeting of December 10, 2024.
- D. Adopt Resolution No. 2025-01 approving a Restated and Fully Amended Agreement and Mortgage document granting a first priority lien to the Economic Development Administration (EDA) on the Royal Theater property, authorizing the Mayor to sign the document on behalf of the City, and directing that the document be recorded.

NO PUBLIC COMMENT

MOTION: HERNANDEZ/VILLEGAS

5 AYES MOTION PASSED

MANAGEMENT REPORTS

9. CITY ADMINISTRATOR: (*Information Only*)

- A. City Administrator's report for January 14, 2025
- B. Planning Department report for December 2024
- C. Building Department report for December 2024
- D. City Engineer's report for December 2024

PUBLIC COMMENT:
GEORGE ALVAREZ

10. DIRECTOR OF PUBLIC SAFETY: (Information Only)

- A. Director of Public Safety report for January 14, 2025
- B. Police Department report for November 2024
- C. Fire Department report for November 2024
- D. Code Compliance report for November 2024

PUBLIC COMMENT:
GEORGE ALVAREZ

11. HUMAN RESOURCES MANAGER: (Information Only)

- A. Human Resources report for December 2024

REGULAR BUSINESS

12. Summary of the Guadalupe Planning and California Environmental Quality Act (CEQA) Permit Planning Process.

Written report: Larry Appel, Planning Director

Recommendation: That the City Council:

- a. Receive a presentation from staff and file the report; or
- b. Request additional information from staff and return to a future Council meeting.

PUBLIC COMMENT:

MELANIE BACKER

AL NUNEZ

EMAIL VIA GARRET MATSURRA FOR EL PADRECITO

13. Informational report from planning staff on the possibility of regulating food trucks and sales carts within the City limits.

Written report: Larry Appel, Planning Director

Recommendation: That the City Council:

- a. Receive a presentation from staff; and
- b. Accept public testimony; and
- c. Close public comments; and
- d. Deliberate and continue the discussion; or
- e. Deliberate and file the report; or
- f. Provide direction to staff.

PUBLIC COMMENT:

GEORGE ALVAREZ

MELANIE BACKER

14. To create a Capital Campaign that addresses the funding gap for the Royal Theater Renovation Project.

Written report: Thomas Brandeberry, Project Manager

Recommendation: That the City Council approve the Capital Campaign, coordinated by Tom Brandeberry, that will include a member of the City Council on the Capital Campaign Committee.

PUBLIC COMMENT:

GEORGE ALVAREZ

MELANIE BACKER

ITEM 14 BECAME ITEM 13

MOTION: VILLEGAS/COSTA JR.

5 AYES MOTION PASSED

15. Bonita Pacifica land transfer.

Written report: Philip F. Sinco, City Attorney

Recommendation: That the City Council grant small portions of City property to two adjacent landowners.

PUBLIC COMMENT:

TRUDY BRANDS

LINDA SANCHEZ

MOTION: VILLEGAS/COSTA JR.

4 AYES MOTION PASSED

1 NAY- FURNESS

16. Establishment of a stipend for the City Code Compliance Hearing Officer.

Written report: Philip F. Sinco, City Attorney

Recommendation: That the City Council introduce on the first reading, and continue to its meeting of January 28, 2025, for second reading and adoption, Ordinance No. 2025-522 establishing a \$50 stipend for each day the City Code Compliance Hearing Officer is required to hold hearings.

MOTION: COSTA JR. /VILLEGAS

5 AYES MOTION PASSED

17. **Approving a Compensation Agreement pursuant to Health & Safety Code Section 34180(f) for transfer of the AI's Union property for future development activities.**

Written report: Joy Otsuki, Special Counsel to the City
Recommendation: That the City Council adopt Resolution No. 2025-02 approving a compensation agreement pursuant to Health & Safety Code Section 34180(f) for transfer of the AI's Union property for future development activities.

***MOTION: HERNANDEZ/COSTA JR.
5 AYES MOTION PASSED***

18. **FUTURE AGENDA ITEMS**

19. **ANNOUNCEMENTS – COUNCIL ACTIVITY/COMMITTEE REPORTS**

20. **ADJOURNMENT TO SUCCESSOR AGENCY BOARD MEETING**

***MOTION: COSTA JR./VILLEGAS
5 AYES MOTION PASSED***

SUCCESSOR AGENCY

21. **Recognized Obligation Payment Schedule and Administrative Budget for the July 1, 2025, through June 30, 2026, period.**

Written report: Joy Otsuki, Special Counsel to the Successor Agency
Recommendation: That the Successor Agency adopt SA Resolution No. 2025-01 entitled "Resolution of the Successor Agency to the Redevelopment Agency of the City of Guadalupe approving the Recognized Obligation Payment Schedule for the July 1, 2025 through June 30, 2026, period".

***MOTION: COSTA JR. /VILLEGAS
5 AYES MOTION PASSED***

22. **ADJOURNMENT**

***COUNCIL ADJOURNS MEETING AT 9:53 P.M.
COSTA JR./FURNESS
5 AYES***

Prepared by:

Approved by:

Judy Wilson, City Clerk

Ariston Julian, Mayor



Agenda Item No. 6D

REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE Agenda of January 28, 2025

Todd Bodem

Approved by:
Todd Bodem, City Administrator

SUBJECT: Appointment of Deborah Sykes as the City Representative on the Santa Barbara County Library Committee

RECOMMENDATION:

That the City Council approve the appointment of Deborah Sykes to serve as the City representative on the Santa Barbara County Library Advisory Committee.

BACKGROUND:

The Santa Barbara County Board of Supervisors has an appointed Library Advisory Committee which advises the Board on issues having to do with the operation of the countywide library system. The committee meets quarterly. Each supervisor makes an appointment to the committee. In addition, each city with a library makes an appointment to the committee.

On October 28, 2014, the City Council appointed Amelia Villegas to serve as the City's representative on the Library Advisory Committee. The County assumed the appointment was for the 2014/15 fiscal year only. The County had then asked the City to reappoint Ms. Villegas, which did occur with Council's approval at the November 24, 2015 meeting. There was no end date for her term specified by Council.

Ms. Villegas has indicated her intention to resign as Guadalupe's representative when a replacement is found. Traditionally, the Friends of the Guadalupe Library (FOGL) make a recommendation to the City Council on whom to appointment. FOGL recommends Deborah Sykes, a 20+ year Guadalupe resident and Board member of FOGL.

It is recommended that Ms. Sykes be appointed to the Santa Barbara County Library Advisory Committee for the remainder of FY 2024/25 and for all of FY 2025/26. The City Administrator fully supports FOGL's recommendation.



Agenda Item No. 6E

**REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE
Agenda of January 28, 2025**

Philip F. Sinco

Prepared by:
Philip F. Sinco, City Attorney

Todd Bodem

Approved by:
Todd Bodem, City Administrator

SUBJECT: Second Reading of Ordinance No. 2025-522 providing a stipend for the City's hearing officer.

RECOMMENDATION:

That the City Council adopt, on the second reading, Ordinance No. 2025-522, an ordinance establishing a \$50 stipend for each day the City Code Compliance Hearing Officer is required to hold hearings

BACKGROUND:

The City Council introduced Ordinance No. 2025-522 at its meeting on January 28, 2025. This constitutes the second reading of the ordinance.

DISCUSSION:

Ordinance No. 2025-522 will become effective thirty (30) days from the date of the second reading (i.e., on February 28, 2025).

ATTACHMENTS:

1. Ordinance No. 2025-522 entitled "An Ordinance of the City of Guadalupe Amending Article I of Chapter 8.50 of Title 8 of the Guadalupe Municipal Code Providing a Stipend for the City's Hearing Officer."

ORDINANCE NO. 2025-522

**AN ORDINANCE OF THE CITY OF GUADALUPE AMENDING ARTICLE I OF CHAPTER 8.50
OF TITLE 8 OF THE GUADALUPE MUNICIPAL CODE PROVIDING A STIPEND FOR THE
CITY'S HEARING OFFICER**

WHEREAS, the City of Guadalupe established the position of Hearing Officer in 2009 in addition to regulations concerning abatement of property nuisances through administrative code compliance pursuant to Ordinance No. 2009-396; and

WHEREAS, the Hearing Officer position was established as a volunteer position for which no compensation would be paid; and

WHEREAS, the City Council appointed Jack Owen as the Hearing Officer on April 14, 2020, and he has served in that capacity since that date; and

WHEREAS, Mr. Owen recently asked for a \$50 stipend for each day he is required to hold a hearing (or hearings) in the City of Guadalupe for administrative code compliance matters; and

WHEREAS, in light of his qualifications to serve as a Hearing Officer and his past service in that capacity, Director of Public Works, Michael Cash, supports Mr. Owen's request; and

WHEREAS, earlier this year, the City Council provided a \$50 per meeting stipend for the City's Recreation and Parks Commissioners who, like the Hearing Officer, had been serving without any compensation for their service; and

WHEREAS, by providing the stipend to the Recreation and Parks Commissioners, the City Council acknowledged the value of their public service, and similarly, wishes to recognize the value of the Hearing Officer's public service by also providing a stipend.

NOW, THEREFORE, the City Council of the City of Guadalupe does hereby ordain as follows:

SECTION 1. Article 1, Chapter 8.50 of Title 8 of the Guadalupe Municipal Code is hereby amended to read as follows:

Title 8 HEALTH AND SAFETY

Chapter 8.50 PROPERTY NUISANCE

Article 1 Code Compliance Hearing Officer

§ 8.50.020 Hearing Officer established—Purpose.

There is hereby established a Code Compliance Hearing Officer. The purpose and duty of the Hearing Officer is to determine whether violations of law or conditions which constitute a

public nuisance exist pursuant to this chapter, and to order appropriate methods of abatement and/or the imposition of administrative penalties. No funds shall be expended for the abatement of any nuisance established in this chapter unless the Hearing Officer has declared the property to be a public nuisance and ordered the abatement of the nuisance.

§ 8.50.030 Appointment of Hearing Officer—Term of office.

The Hearing Officer shall be appointed by the Mayor with the approval of the City Council. The term of office shall be for a period of 2 years, or until a successor is appointed. The Hearing Officer shall receive a \$50 stipend for each day the Hearing Officer is required to appear for hearings. The Hearing Officer shall serve at the pleasure of the City Council.

§ 8.50.040 Other duties.

A. The Hearing Officer shall issue periodic reports to the City Council regarding its activities, including, but not limited to, the number of hearings conducted, the amounts of any administrative penalties and abatement costs imposed, and the compliance record with respect to Compliance Orders issued.

B. The Hearing Officer shall hear such other matters that may be delegated or assigned to it by the City Council.

SECTION 2. The City Council declares that each section, subsection, paragraph, subparagraph, sentence, clause, and phrase of this Ordinance is severable and independent of every other section, subsection, paragraph, subparagraph, sentence, clause, and phrase of this Ordinance. If any section, subsection, paragraph, subparagraph, sentence, clause, or phrase of this Ordinance is held invalid, the City Council declares it would have adopted the remaining provisions of this Ordinance irrespective of the portion held invalid, and further declares its express intent that the remaining portions of this Ordinance should remain in effect after the invalid portion has been eliminated.

SECTION 3. The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance of the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

INTRODUCED at a regular meeting of the City Council on the 14th day of January 2025, by the following roll call vote:

MOTION: EUGENE COSTA JR. / AMELIA M. VILLEGAS

AYES: 5 Councilmembers: Costa Jr., Hernandez, Julian, Furness, Villegas
NOES: 0
ABSENT: 0
ABSTAINED: 0

PASSED AND ADOPTED at a regular meeting of the City Council on the 28th day of January 2025,
by the following roll call vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

ATTEST:

Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney



REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE
Agenda of January 28, 2025

Jeff van den Eikhof

Todd Bodem

Prepared by:

Jeff van den Eikhof, City Engineer

Approved by:

Todd Bodem, City Administrator

SUBJECT: Pioneer Lift Station Rehabilitation Project

RECOMMENDATION:

It is recommended that the City Council adopt Resolution No. 2025-03, approving an agreement with W.M. Lyles Co. to construct the Pioneer Lift Station Project and authorizing the reallocation of \$700,000 from the Wastewater Treatment Plant Project to the Pioneer Lift Station Project.

BACKGROUND:

In October 2014, the City Council adopted the Wastewater Collection System & Treatment Plant Master Plan 2014. In that document, under Lift Stations, it states, "It is recommended to replace the Pioneer Lift Station. The Pioneer Lift Station is past its useful life, is a confined space safety hazard, the pumps are oversized for existing ADF & PHFs conditions, and the force main is not located within City easement or right-of-way. It is recommended the City design a new lift station to meet existing and future flow conditions as identified in this Master Plan. It is also recommended to reroute the existing force main along Eighth Street to Highway 1 so that the force main is accessible in the City's right-of-way."

In 2016, the City entered an agreement with Michael K. Nunley and Associates (MKN) to design the Guadalupe Lift Stations and Trunk Main Project, which included the Pioneer Lift Station, Highway 1 Lift, and the Sewer Trunk Main. The single project was split into three separate projects due to funding issues. The Sewer Trunk Main Project is completed, and the Highway 1 Lift Station Project is under construction. The Pioneer Lift Station is the last critical component of the original project.

To assist with funding, the City applied for and received an Integrated Regional Water Management (IRWM) grant for \$989,000 from the California Department of Water Resources for the Pioneer Lift Station Rehabilitation Project. The City Council also budgeted \$300,000 from the Wastewater Funds as matching funds.

DISCUSSION:

On Friday, October 11, 2024, the City Engineer solicited formal bids for the Pioneer Lift Station Rehabilitation Project. A mandatory pre-bid meeting was held on October 24, 2024, with 10 individuals from 8 companies attending. The deadline to receive bids was 2:00 p.m. on December 10, 2024. The City

received two bids. W.M. Lyles was the low bidder. Their bid was \$1,524,766. Staff recommends awarding the Pioneer Lift Station Rehabilitation Project to W.M. Lyles for \$1,524,766 and authorizing the City Administrator to approve contract change orders up to 15% over the contract amount if necessary.

The current approved budget for the Pioneer Lift Station includes \$989,000 from the IRWM grant and \$300,000 from the Sewer Fund, for a total of \$1,289,000. Staff recommends reallocating \$700,000 budgeted for the Wastewater Treatment Plant (WWTP) Improvements to the Pioneer Lift Station Project to cover the budget shortfall, project contingencies, project management, and inspection services. The total project budget would be \$1,989,000. The remaining budget for the WWTP Improvements would be \$1,100,000.

FISCAL IMPACT:

The IRWM Grant and Wastewater Funds will pay for the Pioneer Lift Station Rehabilitation Project.

ATTACHMENTS:

1. Resolution No. 2025-03
2. Agreement with W.M. Lyles

RESOLUTION NO. 2025-03

A RESOLUTION OF THE CITY COUNCIL OF THE CITY GUADALUPE APPROVING AN AGREEMENT FOR CONTRACTOR SERVICES WITH W.M. LYLES CO. FOR THE PIONEER LIFT STATION REHABILITATION PROJECT AND AUTHORIZING THE MAYOR TO SIGN THE AGREEMENT ON BEHALF OF THE CITY

WHEREAS, the City of Guadalupe Wastewater Collection System & Treatment Plant Master Plan identifies the Pioneer Lift Station as critical infrastructure in need of rehabilitation; and,

WHEREAS, the City of Guadalupe has received an Integrated Regional Water Management grant for \$989,000 from the California Department of Water Resources; and,

WHEREAS, the City Engineer solicited and received bids for construction of the Pioneer Lift Station Rehabilitation Project; and,

WHEREAS, W.M. Lyles Co. was the lower bidder with a bid of \$1,524,766; and,

WHEREAS, the current approved budget for the Pioneer Lift Station includes \$989,000 from an Integrated Regional Water Management grant and \$300,000 previously allocated by the City Council from the Sewer Fund, for a total of \$1,289,000; and

WHEREAS, staff recommends reallocating \$700,000 budgeted for the Wastewater Treatment Plant (WWTP) Improvements to the Pioneer Lift Station Project to cover the budget shortfall, project contingencies, project management, and inspection services, so that the total project budget would be \$1,989,000 (and the remaining budget for the WWTP Improvements would be \$1,100,000).

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Guadalupe as follows:

SECTION 1: The agreement for contractor services with W.M. Lyles Co. for \$1,524,766, attached to the staff report for this item, is hereby approved; and

SECTION 2: The Mayor is authorized to sign the agreement with W.M. Lyles Co. on behalf of the City; and

SECTION 3: The Finance Director is authorized to transfer \$700,000 from the Wastewater Treatment Plant Capital Improvements fund to the Pioneer Lift Station Rehabilitation Project fund; and

SECTION 4: The City Administrator is authorized to approve change orders to the contract up to 15% of the quoted price, if necessary; and

SECTION 5: The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance of the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

PASSED, APPROVED AND ADOPTED at a regular meeting on the 28th day of January 2025 by the following vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

I, Judy Wilson, City Clerk of the City of Guadalupe, DO HEREBY CERTIFY that the foregoing Resolution, being **Resolution No. 2025-03**, has been duly signed by the Mayor and attested by the City Clerk, all at a regular meeting of the City Council, held January 28, 2025, and that same was approved and adopted.

ATTEST:

Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney

**AGREEMENT FOR CONTRACTOR SERVICES
BETWEEN
THE CITY OF GUADALUPE
AND
W.M. LYLES CO.**

THIS AGREEMENT FOR CONTRACTOR SERVICES (the "Agreement") is made and entered into this 28th day of January 2025 by and between the CITY OF GUADALUPE, a municipal corporation ("City"), and W.M. Lyles Co., a California Corporation ("Contractor").

In consideration of the mutual covenants and conditions set forth herein, the parties agree as follows:

Section 1. Term of Agreement. Subject to the provisions of Section 19 (Termination of Agreement) of this Agreement, the term of this Agreement shall be for a period of one (1) year from the date of execution of this Agreement, as first shown above. Such term may be extended upon written agreement of both parties to this Agreement.

Section 2. Scope of Services. Contractor agrees to perform the services set forth in Exhibit A (Scope of Services) and made a part of this Agreement.

Section 3. Additional Services. Contractor shall not be compensated for any services rendered in connection with its performance of this Agreement which are in addition to or outside of those set forth in this Agreement or listed in Exhibit A unless such additional services are authorized in advance and in writing by the City Council or City Administrator of City. Contractor shall be compensated for any such additional services in the amounts and in the manner agreed to by the City Council or City Administrator.

Section 4. Compensation and Method of Payment.

(a) Subject to any limitations set forth in this Agreement, City agrees to pay Contractor the amounts specified in Exhibit A (Compensation) and made a part of this Agreement.

(b) Each month Contractor shall furnish to City an original invoice for all work performed and expenses incurred during the preceding month. The invoice shall detail charges by the following categories: labor (by subcategory), travel, materials, equipment, supplies, sub-contractor contracts and miscellaneous expenses. City shall independently review each invoice submitted by Contractor to determine whether the work performed and expenses incurred are in compliance with the provisions of this Agreement and Scope

of Services. In the event that no charges or expenses are disputed, the invoice shall be approved and paid according to the terms set forth in subsection (c). In the event City disputes any charges or expenses, City shall return the original invoice to Contractor with specific items in dispute identified for correction and re-submission. All undisputed charges shall be paid in accordance with this Agreement and Scope of Services.

(c) Except as to any charges for work performed or expenses incurred by Contractor, which are disputed by City, City will cause Contractor to be paid within thirty (30) days of receipt of Contractor's invoice.

(d) Payment to Contractor for work performed pursuant to this Agreement shall not be deemed to waive any defects in work performed by Contractor.

(e) Contractor shall have the right to suspend services if not paid in accordance with this Agreement.

Section 5. Inspection and Final Acceptance. City may inspect and accept or reject any of Contractor's work under this Agreement, either during performance or when completed, if the work is found to be defective or not in compliance with the defined Scope of Services. Acceptance of any of the Contractor's work by City shall not constitute a waiver of any of the provisions of this Agreement, including but not limited to, Sections 15 and 16, pertaining to indemnification and insurance, respectively. Contractor agrees to cooperate in any such inspection.

Section 6. Ownership of Documents. All original maps, models, designs, drawings, photographs, studies, surveys, reports, data, notes, computer files, files and other documents prepared, developed or discovered by Contractor in the course of providing any services pursuant to this Agreement shall become the sole property of City and may be used, reused or otherwise disposed of by City without the permission of the Contractor. Reuse of any materials outside the scope of this Agreement shall be at the sole risk of the City.

Section 7. Contractor's Books and Records.

(a) Contractor shall maintain any and all documents and records demonstrating or relating to Contractor's performance of services pursuant to this Agreement. Contractor shall maintain any and all ledgers, books of account, invoices, vouchers, canceled checks, or other documents or records evidencing or relating to work, services, expenditures and disbursements charged to City pursuant to this Agreement. Any and all such documents or records shall be maintained in accordance with generally accepted accounting principles and shall be sufficiently completed and detailed so as to permit an accurate evaluation of the services provided by Contractor pursuant to this Agreement. Any and all such documents or records shall be maintained for three (3) years from the date of execution of

this Agreement and to the extent required by laws relating to the audits of public agencies and their expenditures.

(b) Any and all records or documents required to be maintained pursuant to this section shall be made available for inspection, audit and copying, upon reasonable notice during regular business hours, upon written request by City or its designated representative. Copies of such documents or records shall be provided directly to the City for inspection, audit and copying when it is practical to do so; otherwise, unless an alternative is mutually agreed upon, such documents and records shall be made available at Contractor's address indicated for receipt of notices in this Agreement. The City shall compensate the Contractor for all costs associated with providing these materials to the City.

(c) Where City has reason to believe that any of the documents or records required to be maintained pursuant to this section may be lost or destroyed due to dissolution or termination of Contractor's business, City may, by written request, require that custody of such documents or records be given to the requesting party and that such documents and records be maintained by the requesting party. Access to such documents and records shall be granted to City, as well as to its successors-in-interest and authorized representatives.

Section 8. Status of Contractor.

(a) Contractor is and shall at all times during the terms of this Agreement remain a wholly independent Contractor and not an officer, employee or agent of City. Contractor shall have no authority to bind City in any manner, nor to incur any obligation, debt or liability of any kind on behalf of or against City, whether by contract or otherwise, unless such authority is expressly conferred under this Agreement or is otherwise expressly conferred in writing by City.

(b) The personnel performing the services under this Agreement on behalf of Contractor shall at all times be under Contractor's exclusive direction and control. Neither City nor any elected or appointed boards, officers, officials, employees or agents of City, shall have control over the conduct of Contractor or any of Contractor's officers, employees or agents, except as set forth in this Agreement. Contractor shall not at any time or in any manner represent that Contractor or any of Contractor's officers, employees or agents are in any manner officials, employees or agents of City.

(c) Neither Contractor nor any of Contractor's officers, employees or agents shall obtain any rights to retirement, health care or any other benefits which may otherwise accrue to City's employees. Contractor expressly waives any claim Contractor may have to any such rights.

Section 9. Standard of Performance. Contractor represents and warrants that it has the qualifications, experience and facilities necessary to properly perform the services required under this Agreement in a thorough, competent and professional manner. Contractor shall at all times faithfully, competently and to the best of its ability, experience and talent, perform all services described herein. In meeting its obligations under this Agreement, Contractor shall employ, at a minimum, generally accepted standards and practices utilized by persons engaged in providing services similar to those required of Contractor under this Agreement.

Section 10. Compliance With Applicable Laws, Permits and Licenses. Contractor shall keep itself informed of and comply with all applicable federal, state and local laws, statutes, codes, ordinances, regulations and rules in effect during the term of this Agreement applicable to Contractor. Contractor shall obtain any and all licenses, permits and authorizations necessary to perform the services set forth in this Agreement. Neither City, nor any elected or appointed boards, officers, officials, employees or agents of City, shall be liable at law or in equity as a result of any failure of Contractor to comply with this section.

Section 11. Nondiscrimination. Contractor shall not discriminate, in any way, against any person on the basis of race, color, religious creed, national origin, ancestry, sex, age, disability, marital status or sexual orientation in connection with or related to the performance of this Agreement.

Section 12. Unauthorized Aliens. Contractor hereby promises and agrees to comply with all of the provisions of the Federal Immigration and Nationality Act, 8 U.S.C.A. sections 1101, et seq., as amended, and in connection therewith, shall not employ unauthorized aliens for the performance of work and/or services covered by this Agreement, and should any liability or sanctions be imposed against City for such use of unauthorized aliens, Contractor hereby agrees to and shall reimburse City for the cost of all such liabilities or sanctions imposed, together with any and all costs, including attorney's fees, incurred by City.

Section 13. Conflicts of Interest. Contractor will comply with all conflict of interest laws and regulations including, without limitation, the City's Conflict of Interest Code (on file in the City Clerk's Office). All officers, employees and/or agents of Contractor who will be working on behalf of the City pursuant to this Agreement, may be required to file Statements of Economic Interest. Therefore, it is incumbent upon the Contractor or Contracting firm to notify that City of any staff changes relating to this Agreement.

- A. In accomplishing the scope of services of this Agreement, all officers, employees and/or agents of Contractor(s), unless as indicated in Subsection B, will be performing a very limited and closely supervised function, and, therefore, unlikely to have a conflict of interest arise. No disclosures are required for any officers, employees, and/or agents of Contractor, except as indicated in Subsection B.


Initials

- B. In accomplishing the scope of services of this Agreement, Contractor(s) will be performing a specialized or general service for the City, and there is substantial likelihood that the Contractor's work product will be presented, either written or orally, for the purpose of influencing a governmental decision. As a result, the following Contractor(s) shall be subject to Disclosure Category "1" of the City's Conflict of Interest Code.

Section 14. Confidential Information; Release of Information.

(a) All information gained or work product produced by Contractor in performance of this Agreement shall be considered confidential, unless such information is in the public domain or already known to Contractor. Contractor shall not release or disclose any such information or work product to persons or entities other than City without prior written authorization from the City Administrator, except as may be required by law.

(b) Contractor, its officers, employees, agents or subcontractors, shall not, without prior written authorization from the City Administrator or unless requested by the City Attorney of City, voluntarily provide declarations, letters of support, testimony at depositions, responses to interrogatories or other information concerning the work performed under this Agreement. A response to a subpoena or court order shall not be considered "voluntary" provided Contractor gives City notice of such court order or subpoena.

(c) If Contractor, or any officer, employee, agent or subcontractor of Contractor, provides any information or work product in violation of this section, then City shall have the right to reimbursement and indemnity from Contractor for any damages, costs and fees, including attorney's fees, caused by or incurred as a result of Contractor's conduct.

(d) Contractor shall promptly notify City should Contractor, its officers, employees, agents or sub contractors be served with any summons, complaint, subpoena, notice of deposition, request for documents, interrogatories, request for admissions or other discovery request, court order or subpoena from any party regarding this Agreement and the work performed thereunder. City retains the right, but has no obligation, to represent Contractor or be present at any deposition, hearing or similar proceeding. Contractor agrees to cooperate fully with City and to provide City with the opportunity to review any response to discovery requests provided by Contractor. However, this right to review any

such response does not imply or mean the right by City to control, direct, or rewrite said response. Contractor shall be compensated for all costs associated with complying with this section.

Section 15. Indemnification.

(a) City and its respective elected and appointed boards, officials, officers, agents, employees and volunteers (individually and collectively, "Indemnitees") shall have no liability to Contractor or any other person for, and Contractor shall indemnify, defend, protect and hold harmless Indemnitees from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively, "Claims") which Indemnitees may suffer or incur or to which Indemnitees may become subject by reason of or arising out of any injury to or death of any person(s), damage to property, loss of use of property, economic loss or otherwise occurring as a result of or allegedly caused by Contractor's performance of or failure to perform any services under this Agreement or by the negligent or willfully wrongful acts or omissions of Contractor, its agents, officers, directors, sub contractors or employees, committed in performing any of the services under this Agreement.

(b) If any action or proceeding is brought against Indemnitees by reason of any of the matters against which Contractor has agreed to indemnify Indemnitees as provided above, Contractor, upon notice from City, shall defend Indemnitees at Contractor's expense by counsel acceptable to City, such acceptance not to be unreasonably withheld. Indemnitees need not have first paid for any of the matters to which Indemnitees are entitled to indemnification in order to be so indemnified. The insurance required to be maintained by Contractor under Section 16 shall ensure Contractor's obligations under this section, but the limits of such insurance shall not limit the liability of Contractor hereunder. The provisions of this section shall survive the expiration or earlier termination of this Agreement.

(c) The provisions of this section do not apply to Claims occurring as a result of the City's sole negligence or willfully wrongful acts or omissions.

(d) City agrees to indemnify Contractor for any such neglect or willfully wrongful acts committed by City or its officers, agents or employees.

Section 16. Insurance. Contractor agrees to obtain and maintain in full force and effect during the term of this Agreement, insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the work provided by Contractor, its agents, representatives or employees in performance of this Agreement. Insurance is to be placed with insurers with a current A.M. Best's rating of no less than A-:VII. All insurance

policies shall be subject to approval by City as to form and content. These requirements are subject to amendment or waiver, if so approved in writing by City Administrator. Contractor agrees to provide City with copies of required policies upon request. Prior to the beginning of and throughout the duration of the Work, Contractor and its subcontractors shall maintain insurance in conformance with the requirements set forth below. Contractor will use existing coverage to comply with these requirements. If that existing coverage does not meet the requirements set forth herein, Contractor agrees to amend, supplement or endorse the existing coverage to do so. Contractor acknowledges that the insurance coverage and policy limits set forth in this section constitute the minimum amount of coverage required. Any insurance proceeds available to Contractor or its subcontractors in excess of the limits and coverage identified in this Agreement and which is applicable to a given loss, claim or demand, will be equally available to CITY.

Contractor shall provide the following types and amounts of insurance. Without limiting Contractor's indemnification of CITY, and prior to commencement of Work, Contractor shall obtain, provide and maintain at its own expense during the term of this Agreement, policies of insurance of the type and amounts described below and in a form satisfactory to CITY:

A. Minimum Scope of Insurance: Coverage shall be at least as broad as:

(1) Insurance Services Office Form Commercial General Liability coverage (Occurrence Form CG 0001).

(2) Insurance Services Office Form No. CA 0001 covering Automobile Liability, including code 1 "any auto" and endorsement CA 0025, or equivalent forms subject to written approval of City.

(3) Workers' Compensation insurance as required by the Labor Code of the State of California and Employers' Liability insurance and covering all persons providing services on behalf of the Contractor and all risks to such persons under this Agreement, along with a waiver of subrogation endorsement.

(4) Errors and omission liability insurance appropriate to the Contractor's profession.

B. Minimum Limits of Insurance: Contractor shall maintain limits of insurance no less than:

(1) General Liability Insurance: Contractor shall maintain commercial general liability insurance with coverage at least as broad as Insurance Services Office form CG 00 01, in an amount not less than \$1,000,000 per occurrence, \$2,000,000 general aggregate, for bodily injury, personal injury, and property damage, and a \$2,000,000 completed operations aggregate. The policy shall provide or be endorsed to provide that CITY and its officers, officials, employees,

agents, and volunteers shall be additional insureds under such policies. This provision shall also apply to any excess/umbrella liability policies. The policy must include contractual liability that has not been amended. Any endorsement restricting standard ISO “insured contract” language will not be accepted. This insurance and any umbrella or excess liability insurance shall be maintained for a minimum of three years or as long as there is a statutory exposure to completed operations claims, with the City and its officers, officials, employees, and agents continued as additional insured.

(2) Automobile Liability: Contractor shall maintain automobile insurance at least as broad as Insurance Services Office form CA 00 01 covering bodily injury and property damage for all activities of the Contractor arising out of or in connection with Work to be performed under this Agreement, including coverage for any owned, hired, non-owned or rented vehicles, in an amount not less than \$1,000,000 combined single limit for each accident.

(3) Workers' Compensation and Employer's Liability: Contractor shall maintain Workers' Compensation Insurance (Statutory Limits) and Employer's Liability Insurance (with limits of at least \$1,000,000) for Contractor's employees in accordance with the laws of the State of California, Section 3700 of the Labor Code. In addition, Contractor shall require each subcontractor to similarly maintain Workers' Compensation Insurance and Employer's Liability Insurance in accordance with the laws of the State of California, Section 3700 for all of the subcontractor's employees. Contractor shall submit to CITY.

(4) Errors and Omissions Liability: \$1,000,000 per claim as appropriate for the profession.

(5) Umbrella or excess liability insurance (if needed): Contractor shall obtain and maintain an umbrella or excess liability insurance that will provide bodily injury, personal injury and property damage liability coverage at least as broad as the primary coverages set forth above, including commercial general liability, automobile liability, and employer's liability. Such policy or policies shall include the following terms and conditions:

- A drop-down feature requiring the policy to respond in the event that any primary insurance that would otherwise have applied proves to be uncollectable in whole or in part for any reason;
- Pay on behalf of wording as opposed to reimbursement;
- Concurrency of effective dates with primary policies;
- Policies shall “follow form” to the underlying primary policies; and
- Insureds under primary policies shall also be insureds under the umbrella or excess policies.

(6) Pollution liability insurance. Environmental Impairment Liability Insurance shall be written on a Contractor's Pollution Liability form or other form acceptable to

CITY providing coverage for liability arising out of sudden, accidental and gradual pollution and remediation. The policy limit shall be no less than \$1,000,000 dollars per claim and in the aggregate. All activities contemplated in this Agreement shall be specifically scheduled on the policy as "covered operations." The policy shall provide coverage for the hauling of waste from the project site to the final disposal location, including non-owned disposal sites.

C. Other Provisions: Insurance policies required by this Agreement shall contain the following provisions:

(1) Notice of Cancellation: Each insurance policy required by this Agreement shall be endorsed and state the coverage shall not be suspended, voided, canceled by the insurer or other party to this Agreement, reduced in coverage or in limits except after thirty (30) days' prior written notice by certified mail, return receipt requested has been given to City.

(2) Primary/noncontributing: Coverage provided by Contractor shall be primary and any insurance or self-insurance procured or maintained by CITY shall not be required to contribute with it. The limits of insurance required herein may be satisfied by a combination of primary and umbrella or excess insurance. Any umbrella or excess insurance shall contain or be endorsed to contain a provision that such coverage shall also apply on a primary and non-contributory basis for the benefit of CITY before the CITY's own insurance or self-insurance shall be called upon to protect it as a named insured.

(3) City's Rights of Enforcement: In the event any policy of insurance required under this Agreement does not comply with these requirements or is canceled and not replaced, CITY has the right but not the duty to obtain the insurance it deems necessary and any premium paid by CITY will be promptly reimbursed by Contractor or CITY will withhold amounts sufficient to pay premium from Contractor payments. In the alternative, CITY may cancel this Agreement.

(4) Waiver of Subrogation: All insurance coverage maintained or procured pursuant to this agreement shall be endorsed to waive subrogation against CITY, its elected or appointed officers, agents, officials, employees and volunteers or shall specifically allow Contractor or others providing insurance evidence in compliance with these specifications to waive their right of recovery prior to a loss. Contractor hereby waives its own right of recovery against CITY, and shall require similar written express waivers.

(5) Enforcement of Contract Provisions (non estoppel): Contractor acknowledges and agrees that any actual or alleged failure on the part of the CITY to inform Contractor of non-compliance with any requirement imposes no additional obligations on the CITY nor does it waive any rights hereunder.

(6) Requirements not Limiting: Requirements of specific coverage features or limits contained in this Section are not intended as a limitation on coverage, limits or other requirements, or a waiver of any coverage normally provided by any insurance. Specific reference to a given coverage feature is for purposes of clarification only as it pertains to a given issue and is not intended by any party or insured to be all inclusive, or to the exclusion of other coverage, or a waiver of any type. If the Contractor maintains higher limits than the minimums shown above, the CITY requires and shall be entitled to coverage for the higher limits maintained by the Contractor. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the CITY.

(7) Prohibition of Undisclosed Coverage Limitations: None of the coverages required herein will be in compliance with these requirements if they include any limiting endorsement of any kind that has not been first submitted to CITY and approved of in writing.

(8) Separation of Insureds: A severability of interests provision must apply for all additional insureds ensuring that Contractor's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the insurer's limits of liability. The policy(ies) shall not contain any cross-liability exclusions.

(9) Pass through Clause: Contractor agrees to ensure that its subconsultants, subcontractors, and any other party involved with the project who is brought onto or involved in the project by Contractor, provide the same minimum insurance coverage and endorsements required of Contractor. Contractor agrees to monitor and review all such coverage and assumes all responsibility for ensuring that such coverage is provided in conformity with the requirements of this section. Contractor agrees that upon request, all agreements with consultants, subcontractors, and others engaged in the project will be submitted to CITY for review.

(10) City's Right to Revise Requirements: The CITY reserves the right at any time during the term of the contract to change the amounts and types of insurance required by giving the Contractor a ninety (90) day advance written notice of such change. If such change results in substantial additional cost to the Contractor, the CITY and Contractor may renegotiate Contractor's compensation.

(11) Self-insured Retentions: Any self-insured retentions must be declared to and approved by CITY. CITY reserves the right to require that self-insured retentions be eliminated, lowered, or replaced by a deductible. Self-insurance will not be considered to comply with these specifications unless approved by CITY.

(12) Timely Notice of Claims: Contractor shall give CITY prompt and timely notice of claims made or suits instituted that arise out of or result from Contractor's performance under this Agreement, and that involve or may involve coverage under any of the required liability policies.

(13) Additional Insurance: Contractor shall also procure and maintain, at its own cost and expense, any additional kinds of insurance, which in its own judgment may be necessary for its proper protection and prosecution of the Work.

Section 17. Assignment. The expertise and experience of Contractor are material considerations for this Agreement. City has an interest in the qualifications of and capability of the persons and entities who will fulfill the duties and obligations imposed upon Contractor under the Agreement. In recognition of that interest, Contractor shall not assign or transfer this Agreement or any portion of this Agreement or the performance of any of Contractor's duties or obligations under this Agreement without the prior written consent of the City Council. Any attempted assignment shall be ineffective, null and void, and shall constitute a material breach of this Agreement, entitling City to any and all remedies at law or in equity, including summary termination of this Agreement. City acknowledges, however, that Contractor, in the performance of its duties pursuant to this Agreement, may utilize sub contractors.

Section 18. Continuity of Personnel. Contractor shall make every reasonable effort to maintain the stability and continuity of Contractor's staff assigned to perform the services required under this Agreement. Contractor shall notify City of any changes in Contractor's staff assigned to perform the services required under this Agreement, prior to any such performance.

Section 19. Termination of Agreement.

(a) City may terminate this Agreement, with or without cause, at any time by giving thirty (30) days' written notice of termination to Contractor. In the event such notice is given, Contractor shall cease immediately all work in progress.

(b) Contractor may terminate this Agreement at any time upon thirty (30) days' written notice of termination to City.

(c) If either Contractor or City fail to perform any material obligation under this Agreement, then, in addition to any other remedies, either Contractor or City may terminate this Agreement immediately upon written notice.

(d) Upon termination of this Agreement by either Contractor or City, all property belonging exclusively to City which is in Contractor's possession shall be returned to City. Contractor shall furnish to City a final invoice for work performed and expenses incurred by Contractor, prepared as set forth in Section 4 of this Agreement. This final invoice shall be reviewed and paid in the same manner as set forth in Section 4 of this Agreement.

Section 20. Default. In the event that Contractor is in default under the terms of this Agreement, the City shall not have any obligation or duty to continue compensating Contractor for any work performed after the date of default and may terminate this Agreement immediately by written notice to Contractor.

Section 21. Excusable Delays. Contractor shall not be liable for damages, including liquidated damages, if any, caused by delay in performance or failure to perform due to causes beyond the control of Contractor. Such causes include, but are not limited to, acts of God, acts of the public enemy, acts of federal, state or local governments, acts of the City, court orders, fires, floods, epidemics, strikes, embargoes, and unusually severe weather. The term and price of this Agreement shall be equitably adjusted for any delays due to such causes.

Section 22. Cooperation by City. All public information, data, reports and maps as are existing and available to City as public records, and which are necessary for carrying out the work as outlined in Exhibit A, shall be furnished to Contractor in every reasonable way to facilitate, without undue delay, the work to be performed under this Agreement.

Section 23. Notices. All notices required or permitted to be given under this Agreement shall be in writing and shall be personally delivered, or sent by telecopier or United States mail, postage prepaid, addressed as follows:

To City: City Administrator
 City of Guadalupe
 PO Box 908
 Guadalupe, CA 93434

To Contractor: W.M. Lyles Co.
 PO Box 28130
 Fresno, CA 93711

Notice shall be deemed effective on the date personally delivered or transmitted by facsimile or, if mailed, three (3) days after deposit of the same in the custody of the United States Postal Service.

Section 24. Authority to Execute. The person or persons executing this Agreement on behalf of the Contractor represents and warrants that they have the authority to so execute this Agreement and to bind Contractor to the performance of its obligations hereunder.

Section 25. Binding Effect. This Agreement shall be binding upon the heirs, executors, administrators, successors and assigns of the parties.

Section 26. Modification of Agreement. No amendment to or modification of this Agreement shall be valid unless made in writing and approved by the Contractor and by the City Council. The parties agree that this requirement for written modifications cannot be waived and that any attempted waiver shall be void.

Section 27. Waiver. Waiver by any party to this Agreement of any term, condition or covenant of this Agreement shall not constitute a waiver of any other term, condition or covenant. Waiver by any party of any breach of the provisions of this Agreement shall not constitute a waiver of any other provision, nor a waiver of any subsequent breach or violation of any provision of this Agreement. Acceptance by City of any work or services by Contractor shall not constitute a waiver of any provisions of this Agreement.

Section 28. Law to Govern; Venue. This Agreement shall be interpreted, construed and governed according to the laws of the State of California. In the event of litigation between the parties, venue in state trial courts shall lie exclusively in the County of Santa Barbara. In the event of litigation in a U.S. District Court, venue shall lie exclusively in the Central District of California, in Los Angeles.

Section 29. Attorney's Fees, Costs and Expenses. In the event litigation or other proceeding is required to enforce or interpret any provision of this Agreement, the prevailing party in such litigation or other proceeding shall be entitled to any award of reasonable attorney's fees, costs and expenses, in addition to any other relief to which it may be entitled.

Section 30. Entire Agreement. This Agreement, including the attached exhibits, is the entire, complete, final and exclusive expression of the parties with respect to the matters addressed therein and supersedes all other agreements or understandings, whether oral or written, or entered into between Contractor and City prior to the execution of this Agreement. No statements, representations or other agreements, whether oral or written, made by any party which are not embodied herein shall be valid and binding. No amendment to this Agreement shall be valid and binding unless in writing duly executed by the parties or their authorized representatives.

Section 31. Severability. If a term, condition or covenant of this Agreement is declared or determined by any court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions of this Agreement shall not be affected thereby, and the Agreement shall be read and construed without the invalid, void or unenforceable provision(s).

Section 32. Preparation of Agreement. This Agreement is the product of negotiation and preparation by and among the parties and their respective attorneys. The parties, therefore, expressly acknowledge and agree that this Agreement shall not be deemed prepared or drafted by one party or another, or any party's attorney, and will be construed accordingly.

CITY:

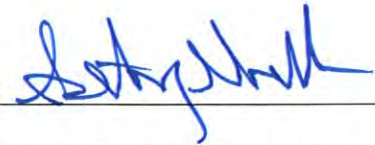
CITY OF GUADALUPE

By: _____
Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip Sinco, City Attorney

CONTRACTOR:

By:  _____
Title: Anthony M. Mueller, Sr. Vice President

By: _____

Title: _____



EXHIBIT A
PROPOSAL
TO
THE CITY OF GUADALUPE
FOR
PIONEER LIFT STATION REHABILITATION PROJECT
CITY PROJECT NO. 2024-04

NAME OF BIDDER W. M. Lyles Co.

BUSINESS P.O. BOX P.O. Box 28130

CITY, STATE, ZIP Fresno, CA 93729

BUSINESS STREET ADDRESS 525 W. Alluvial Avenue

CITY, STATE, ZIP Fresno, CA 93711

TELEPHONE NO.: (559) 441-1900

FAX NO.: (559) 487-7949

EMAIL ADDRESS: kshigematsu@wmlylesco.com

LICENSE NUMBER AND TYPE: 422390 - Class A, B

DIR NUMBER: 1000001448

The work for which this Proposal is submitted is for construction in accordance with the Special Provisions (including the payment of not less than the State General Prevailing Wage Rates or the Federal minimum wage rates when set forth herein), the Plans described below, including any addenda thereto, the contract annexed hereto, and also in accordance with the Caltrans Standard Specifications dated 2018, and the City of Santa Maria Standard Specifications (adopted by the City of Guadalupe on June 23, 2009, pursuant to Resolution No. 2009-24) insofar as the same may apply, specifications which may be referred to in the Special Provisions or project plans, and the Labor Surcharge And Equipment Rental Rates in effect on the date the work is accomplished.

The Technical Specifications for the work to be done are entitled:

CITY OF GUADALUPE, CALIFORNIA;
PIONEER LIFT STATION REHABILITATION PROJECT

The Bidder's attention is directed to Section 2, "Proposal Requirements and Conditions," of the Contract Documents.

The undersigned as Bidder declares that he/she has carefully examined the location of the proposed work above described, read and examined the Contract Documents, and Addendum/Addenda (List Addenda Received: 1, 2, 3,) therefore, read the Notice to Contractors, the Proposal Requirements, including the Caltrans Standard Specifications, and hereby proposes and agrees, if this Proposal is accepted by the City, to furnish all materials and services required to do all the work required to complete the said construction in accordance with the Contract Documents in the time stated herein, for the unit prices given below:

BID SCHEDULE

ITEM NO.	BID ITEMS	PAYMENT REFERENCE *TS 012000	TOTAL QUANTITIES	UNIT	UNIT PRICE	TOTAL COST
BASE BID						
1	Mobilization	TS-1.04	1	LS	58,000	58,000
2	Sheeting, Shoring, Bracing, and Excavation Safety Measures	TS-1.05	1	LS	7,000	7,000
3	Temporary Bypassing	TS-1.06	1	LS	84,200	84,200
4	Traffic Control	TS-1.07	1	LS	30,800	30,800
5	Lift Station	TS-1.08	1	LS	551,800	551,800
6	Sitework	TS-1.09	1	LS	105,900	105,900
7	Discharge Manhole	TS-1.10	1	LS	27,800	27,800
8	4-inch C900 PVC Force Main	TS-1.11	494	LF	329	192,166
9	8-inch SDR 35 PVC Gravity Sewer	TS-1.12	32	LF	1,104	35,328
10	Electrical and Controls	TS-1.13	1	LS	187,300	187,300
11	Demolition	TS-1.14	1	LS	84,800	84,800
12	Pavement Rehabilitation – Trench Section	TS-1.15	1,976	SF	15	29,640
13	Pavement Rehabilitation – Caltrans ROW Overlay	TS-1.16	2,709	SF	48	130,032
TOTAL BASE BID (ITEMS 1 THROUGH 13)						1,524,766

*TS = Technical Specifications (Section 10)


TOTAL BASE BID IN WORDS:

One million Five hundred twenty-four thousand seven hundred sixty-six
 Total Base Bid Amount shall be shown in both words and figures.

The award of the contract, if it be awarded, will be to the lowest responsible bidder whose proposal complies with all the requirements prescribed. Bids will be compared by the Total Mathematical Bid as determined by the Engineer. The Total Mathematical Bid is the summation of all required bid items, excluding bid alternates. Bid items are calculated by multiplying the Engineers Estimate quantities by the unit bid prices. In the case of a discrepancy between the Total Mathematical Bid and the total bid written above, the Total Mathematical Bid shall govern.

The bidder to whom the contract is awarded agrees to enter into a contract with the City of Guadalupe within **fifteen (15) days** after the date of the Notice of Award, and to commence work within **ten (10) working days** after the date of the Notice To Proceed, and to diligently prosecute the work to completion within the Time of Contract shown on the cover of the Project Manual. The City will issue the Notice to Proceed **fifty (50) weeks** after the contract award or upon delivery of the pump control panels, whichever comes first.

The undersigned understands and agrees that the City of Guadalupe will not be responsible for any errors or omissions on the part of the undersigned in preparing and submitting this Proposal.


Signature _____ Kevin R. Shigematsu, Sr. Vice President
Title

12/5/24
Date _____



**REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE
Agenda of January 28, 2025**

Jeff van den Eikhof

Todd Bodem

Prepared by:
Jeff van den Eikhof, City Engineer

Approved by:
Todd Bodem, City Administrator

SUBJECT: Acceptance of Pasadera Development Lift Station

RECOMMENDATION:

It is recommended that the City Council accept the Pasadera Development Lift Station as part of the City's public infrastructure to monitor and maintain.

BACKGROUND:

In 1993, the City of Guadalupe received an application for the DJ Farms Specific Plan. The application request included annexing the 209-acre project site into the southeastern part of the City of Guadalupe and adopting a Specific Plan for this area. In 1995, the City of Guadalupe certified the associated EIR, adopted the Specific Plan, and approved the associated annexation. The Santa Barbara Local Agency Formation Committee (LAFCO) also approved the requested annexation.

After several revisions to the DJ Farms Specific Plan, the Revised Specific Plan and revised EIR were approved by the City Council through Resolution 2012-27 on November 13, 2012. At this meeting, the City Council approved the Development Agreement between the City of Guadalupe and RTC 2003, LLC ("the applicant"). The Specific Plan development includes 21.5 acres of commercial development, a school site, 802 residential units, and up to 48 mixed-use units in Neighborhood Commercial land use designation.

RCT 2003, LLC ("the applicant") filed Planning Application #2013-006-TTM for the subdivision of the northern portion of the DJ Farms Specific Plan Area (124.37 acres) into Master Lots. The Master Lots were associated with the land use designations of the Specific Plan area. The applicant then filed application #2013-012-TTM for Vesting Tentative Tract Map 29,061 for the first phase of residential development in the DJ Farms Specific Plan Area. This application was to subdivide approximately 27.76 acres of land into single-family residential lots. Application #2013-006-TTM for Master Lots was approved and adopted by the City Council on August 13, 2013 by Resolution 2013-013. The City Council approved Application #2013-012-TTM on November 25, 2014. As a part of the development, a Lift Station was required as part of the conditions of approval

The DJ Farms Development, currently referred to as Pasadera, provided the City Engineer with a design for the lift station to serve the entire Pasadera Development in a phased manner. The Phasing is attached as Exhibit A. The City Engineer approved the lift station design provided by Romtec Utilities and Bethel Engineering on May 29, 2015. Construction of the lift station has been completed through Phases 1-4 and a portion of Phase 5 (residential Master Lot 9).

DISCUSSION:

The further development of the Pasadera site (south of Santa Maria Valley Railroad) will require upgrades associated with the Phasing plan attached and the phased design. The costs of these upgrades will be the sole responsibility of the developer as the project builds out and as conditioned on the future tract maps.

The City Council is being asked to accept the Pasadera Lift Station as public infrastructure to monitor and maintain. The City Engineer and City Administrator are in favor of the Council accepting the Lift Station as public infrastructure due to the City's ability and expertise to monitor and maintain the Lift Station as part of the City wastewater collection facilities.

FISCAL IMPACT:

The cost to the City for operating and maintaining the Lift Station is paid by the service fees collected from the homeowners as part of their monthly bills. Therefore, there is no immediate impact on the City's general fund or wastewater fund.

ATTACHMENTS:

1. Resolution No. 2025-04
2. Exhibit A (Lift Station Phasing)

RESOLUTION NO. 2025-04

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GUADALUPE, CALIFORNIA,
ACCEPTING THE DJ FARMS (PASADERA) LIFT STATION AS A PART OF THE CITY OF GUADALUPE PUBLIC
INFRASTRUCTURE TO SERVE THE PASADERA DEVELOPMENT**

WHEREAS, on November 13, 2012, the Revised DJ Farms Specific Plan and revised EIR were approved by the Guadalupe City Council by Resolution 2012-27 for the development of the DJ Farms Specific Plan Area with a school, a regional park, 21.5 acres of commercial development, 802 single family residential units, plus up to 48 mixed units in the commercial space; and

WHEREAS, Planning Application #2013-006-TTM for the subdivision of the northern portion of the DJ Farms site (124.37 acres) into Master Lots associated with the land use designations per the approved Specific Plan was filed by RCT 2003, LLC (the "applicant)". The application, subject to Conditions of Approval, was approved by the City Council on August 13, 2013, and adopted by Resolution 2013-34; and

WHEREAS, Planning Application #2013-012-TTM for Vesting Tentative Tract Map 29,061 (Lot 5 of TM 29,060) was filed by RCT 2003, LLC (the "Applicant") on July 10, 2013, for the subdivision of approximately 27.76 acres of land located within the DJ Farms Specific Plan Area; and

WHEREAS, on November 25, 2014, the Guadalupe City Council held a duly noticed public hearing to consider Vesting Tentative Tract Map No. 29,061 and approved #2013-012-TTM with conditions of approval; and

WHEREAS, the development of Vesting Tract Map 29,061 was the first part of the Pasadera Development and, as a part of the initial development would include the construction of a Lift Station to serve the entire development; and

WHEREAS, on May 29, 2015, the City Engineer approved the Romtec Utilities Scope of Supply and Design Submittal for the Lift Station. The design of the Lift Station included a phased approach to accommodate increasing demand over time; and

WHEREAS, on July 20, 2022, the Public infrastructure for Tract 29,061 was completed and as-builts provided to City staff, including the lift station construction for phases 1-4 and a portion of Phase 5; and

WHEREAS, the lift station has been in operation since the first occupancy of the development. As the DJ Farms (Pasadera) development continues on the south side of the Santa Maria Valley Railroad (SMVRR), it is anticipated that additional upgrades may be needed in accordance with the approved phased design. These upgrades will be conditioned on the project as required, and the developer will cover any expenses.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Guadalupe as follows:

SECTION 1. The City Council of the City of Guadalupe hereby accepts the Pasadera Lift Station as part of the City's public infrastructure to monitor and maintain.

SECTION 2. This Resolution shall become effective immediately upon its adoption.

SECTION 3. The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance of the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

PASSED, APPROVED AND ADOPTED at a regular meeting on the 28th day of January 2025 by the following vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

I, Judy Wilson, City Clerk of the City of Guadalupe, DO HEREBY CERTIFY that the foregoing Resolution, being **Resolution No. 2025-04**, has been duly signed by the Mayor and attested by the City Clerk, all at a regular meeting of the City Council, held January 28, 2025, and that same was approved and adopted.

ATTEST:

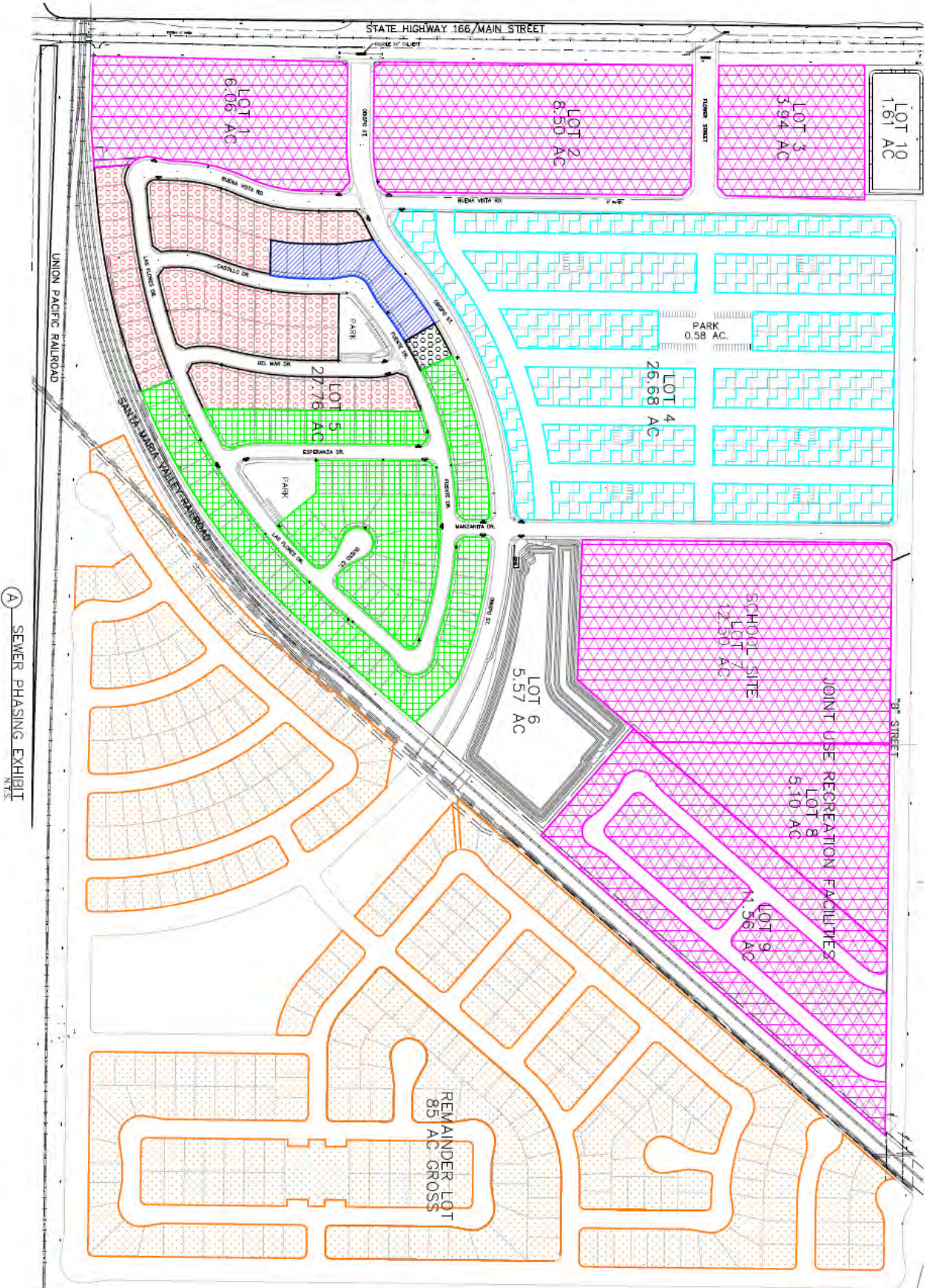
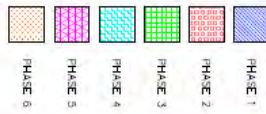
Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney

EXHIBIT A
LIFT STATION PHASING





PUBLIC SAFETY DIRECTORS REPORT
January 28, 2025

POLICE

No Significant issues to report

See Police Department Monthly Crime Report

FIRE

- Guadalupe Fire Strike Team return to city after 12 days assisting with battling the wildfires in the Los Angeles area. All team members returned safely.

See Fire Department Monthly Stats Report

CODE COMPLIANCE

No Significant Issues to Report

See Code Compliance Monthly Stats Report

EMERGENCY PREPAREDNESS

- Preparing to notify community members about attending a briefing meeting to discuss city-wide Emergency Preparedness Training.

MONTHLY COMMITTEE ASSIGNMENTS

- Santa Barbara Fire Chief's Association Meeting. We discussed wrapping up the mutual aid battling wildfires in the Los Angeles area and preparing county information campaign to work on clearing defensive space around residential areas to prevent wildfires.

SPECIAL PROJECTS

No Significant issues at this time.

GUADALUPE POLICE DEPARTMENT
MONTHLY ADMINISTRATIVE OPERATIONAL DATA SUMMARY
MONTH OF DECEMBER 2024

PART I: CRIMES

TYPE OF CRIMES	THIS MONTH		THIS MONTH LAST YEAR		THIS YEAR TO DATE		LAST YEAR TO DATE	
	REPORTED	CLEARED	REPORTED	CLEARED	REPORTED	CLEARED	REPORTED	CLEARED
187 PC HOMICIDE	0	0	0	0	0	0	0	0
261 PC RAPE	0	0	0	0	3	3	5	3
211 PC ROBBERY	0	0	0	0	3	3	0	0
242/245 PC ASSAULT	4	4	4	4	47	44	38	35
459 PC BURGLARY	0	0	0	0	11	2	15	6
484/487 PC THEFT	3	0	2	0	23	4	33	1
10851 VC VEH THEFT	2	1	2	0	9	3	24	0
451 PC ARSON	1	1	0	0	1	1	0	0
TOTAL	10	6	8	4	97	60	115	45

PART II: REPORTED CRIMES

REQUEST FOR SERVICE	THIS MONTH	THIS MONTH LAST YEAR	THIS YEAR TO DATE	LAST YEAR TO DATE
TOTAL REPORTS TAKEN	53	46	714	785
TOTAL REQUEST FOR SERVICE	221	225	2557	2553
TOTAL ACTIVITY FOR THE MONTH	274	271	3271	3338
DOMESTIC VIOLENCE REPORT	2	2	24	161
TOTAL PROPERTY STOLEN	\$3,300.00	\$12,970.00	\$40,547.00	\$67,103.00
TOTAL PROPERTY RECOVERED	\$0.00	\$0.00	\$0.00	\$25.00

PART III: ARREST SUMMARY

OFFENCES	THIS MONTH		THIS MONTH LAST YEAR		THIS YEAR TO DATE		LAST YEAR TO DATE	
	ADULTS	JUVENILES	ADULTS	JUVENILES	ADULTS	JUVENILES	ADULTS	JUNENILES
FELONY	9	0	4	1	56	4	37	2
MISDEMINOR	11	0	9	0	101	0	106	3
TOTAL	20	0	13	1	157	4	143	5
23152(a&b) VC ARREST	4		2		21		25	
WARRANT ARREST	3		1		17		17	

NOTE: DUI AND WARRANT DATA ARE INCLUDED IN ABOVE ARREST TOTALS



GUADALUPE FIRE DEPARTMENT



TO: PUBLIC SAFETY DIRECTOR, MICHAEL CASH
FROM: CAPTAIN PATRICK SCHMITZ
SUBJECT: MONTHLY SUMMARY OF CODE ENFORCEMENT CASES
 December 1, 2024 – December 31, 2024
DATE: 01/02/2025

CALLS FOR SERVICE **December 2024**

INCIDENT TYPE	This Month	Last Month	Year to Date (2024-2025)	Year to date (2023-2024)
Medical	31	25	184	194
Structure Fire	0	1	3	0
Cooking Fire	0	0	0	0
Trash or Rubbish Fire	4	1	7	6
Vehicle Fire	0	1	3	1
Grass/Vegetation Fire	0	0	4	2
Other Fire	0	1	2	4
Motor Vehicle Accidents with Injuries	0	0	5	17
Motor Vehicle Accidents No Injuries	4	2	9	11
Motor Vehicle/Pedestrian Accident	1	1	2	6
Hazardous Materials Spill/Release	1	1	4	4
Hazardous Condition Other	3	0	9	10
Water Problem/Leak	0	0	2	2
Animal Problem	0	0	1	1
Search / Rescue	0	0	0	0
Public Assistance	4	2	15	10
Police Matter/Assistance	1	2	7	6
Illegal Burn	0	0	2	1
Smoke/CO Detector Activation	4	0	17	10
Dispatch and Canceled En-route	3	2	16	21
False Alarm	2	0	8	8
TOTAL	58	39	300	314

Additional Information

STAFFING: 1 Public Safety Director (Police/Fire Chief)
 3 Fire Captains
 2 Fire Engineers 1 Vacant Position
 1 Paid-Call Firefighters 5 Vacant Position



GUADALUPE FIRE DEPARTMENT



Special Assignments / Events / Coverage:

- Guadalupe School Safety Committee (12/03)
- Food Distribution (12/05)
- La Posada Event CHC (12/04)
- Christmas Prade (12/04)
- Light Up the Night Event (12/17)

CODE COMPLIANCE CASES

December 2024

INCIDENT TYPE	This Month	Last Month	Year to Date (2024-2025)	Year to date (2023-2024)
Business License (GMC 5.04.110)	0	0	0	0
Animal Nuisance (Odor, Noise) (GMC 6.04.100 (A, E))	0	0	0	0
Fowl, Livestock, and Wild Animals (GMC 6.04.210)	0	0	0	0
Residential Solid Waste Collection (GMC 8.08.070)	0	0	0	0
Litter Accumulation (GMC 8.12.020)	1	2	20	16
Burning Garbage Prohibited (GMC 8.12.150)	0	0	0	1
Abatement of Weeds and Rubbish (GMC 8.16.010)	0	2	59	51
Discharge of Illegal Fireworks (GMC 8.24.020)	0	0	0	0
Unlawful Property Nuisance (GMC 8.50.070)	0	1	3	3
Graffiti Abatement (GMC 9.07.060)	2	2	8	0
Parking of Large Vehicles / Trailers (GMC 10.24.190)	0	0	0	5
Abandoned Vehicles (GMC 10.36.010)	2	0	5	3
Portable/fixed basketball goals (GMC 10.48.050)	0	0	1	0
Address Number (GMC 15.08.020 (505.1))	0	6	29	59
Illegal Garage Conversion	0	0	1	0
Wall, Fence, or Hedge Requirements (GMC 18.52.121)	0	0	3	4
Damage Fence (GMC 18.52.125)	0	0	0	0
Trailers / Mobile Homes as Living Space (GMC 18.56.030)	0	0	0	2
Parking on Front Yard Setback (GMC 18.60.040)	2	3	26	29
Landscape Maintenance Required (GMC 18.64.120)	0	0	3	0
Working Without Permits (GMC15.04.020)	2	1	6	1
Complaints (No Violation Found)	0	0	1	1
Apartment Inspections	5	0	90	81
Yearly Business Inspections	3	4	38	44
Other	0	1	3	11
TOTAL	17	22	295	311
Complaints Received	1	0	4	4

Miscellaneous	This Month	Last Month	Year to Date (2024-2025)	Year to date (2023-2024)
Visitors	21	16	105	254
Public Relations	5	2	18	25
School Station Visits	0	1	4	0



GUADALUPE CODE COMPLIANCE

TO: PUBLIC SAFETY DIRECTOR, MICHAEL CASH
FROM: CODE COMPLIANCE OFFICER, JOSUE MERAZ
SUBJECT: MONTHLY SUMMARY OF CODE ENFORCEMENT CASES
 DECEMBER 1, 2024 –DECEMBER 31, 2024

DATE: 1/01/2025

CODE ENFORCEMENT CASES

INCIDENT TYPE	This Month	Last Month	Year to Date (2020-2021)
Parking Prohibited Zoning Clearance Required (GMC 18.60.040) (D)	0	0	0
Animal Nuisance (Odor, Noise) (GMC 6.04.100 (A,E))	1	1	5
Fowl, Livestock and Wild Animals (GMC 6.04.210)	1	0	4
Litter Accumulation (GMC 8.12.020)	0	0	9
Abatement of Weeds and Rubbish (GMC 8.16.010)	0	0	24
Unsafe Buildings-Collecting Rent for (GMC 8.40.030)	1	0	2
Unlawful Property Nuisance (GMC 8.50.070)	4	1	16
Graffiti Abatement (GMC 9.07.060)	0	0	1
Abandoned Vehicles/ Vehicle Covers (GMC 10.36.010)	0	1	62
Portable/fixed basketball goals (GMC 10.48.050)	0	0	2
Parking of large vehicles/trailers (GMC 10.24.190)	0	0	2
Wall,Fence,or Hedge Requirements (GMC 18.52.121)	1	0	4
Working Without Permits (GMC15.04.020)	2	0	7
Address Number (GMC 15.08.020 (505.1))	0	0	9
Tampering with water service (GMC 13.04.200)	0	0	1
Damage Fence (GMC 18.52.125)	0	0	0
Parking on Front Yard Setback (GMC 18.60.035)	0	0	4
Trailers/Mobile homes as living space (GMC 18.56.030)	3	0	3
Grease trap General Regulations (GMC 13.14.050)	0	0	2
Landscape Maintenance Required (GMC 18.64.120)	0	0	8
Discharge of illegal fireworks (GMC 8.24.020)	0	0	15
72hr Parking	0	4	7
Code 60 Citations	0	0	2
TOTAL	13	7	189
Complaints Received	5	4	48

Miscellaneous	This Month	Last Month	Year to Date (2020-2021)
Visitors	0	0	0
Public Relations (Food distribution, Covid Vaccination)	1	1	11
School Visits ()	0	0	0



REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE
Agenda of January 28, 2025

Bill Scott

Prepared by:
Bill Scott, Contract City Planner

Todd Bodem

Approved by:
Todd Bodem, City Administrator

SUBJECT: Public Hearing to consider a conditional use permit 2024-054-CUP, to allow a vehicle tow and storage yard on a 4,750 square-foot property in the M-C (Industrial-Commercial) zoning district at 301 Guadalupe Street (APN 115-163-013).

RECOMMENDATION:

It is recommended that the City Council:

- a. Receive a presentation from staff;
- b. Conduct a public hearing, including: 1) an opportunity for the applicant to present the proposed project; 2) receive any comments from the public; and
- c. Approve Conditional Use Permit 2024-54-CUP, including the requisite Findings, a CEQA Class 1 exemption; and the conditions of approval.

BACKGROUND:

The applicant, Mr. Jason Sahagun, President of Central City Towing, is requesting City Council approval of a conditional use permit (CUP) to allow a vehicle tow and storage yard on a 4,750 square-foot property. The property is located in the M-C (Industrial-Commercial) zoning district at 301 Guadalupe Street. Municipal Code Section 18.40.030(D) specifies a conditional use permit is required to allow a screened storage yard in the M-C (Industrial-Commercial) zone.

Proposed Use:

The storage site is a narrow twenty-five foot-wide by 190-foot-long strip extending between Guadalupe Street on the east side and a 20-foot-wide alley on the west side. The applicant's stated use of the property is: *vehicle storage and release not to exceed 45 continuous days*. This type of operation typically involves short-term storage of impounded vehicles. No dismantling or salvaging activities are requested or permitted on the premises.

The property has most recently been used for storage of miscellaneous equipment and vehicles, including an old railroad car. The applicant has indicated the existing materials, including the railroad car, would eventually be removed to accommodate the vehicle storage use. With the exception of the small (1,200 square-foot) area where the railroad car is being stored, the storage site is covered by concrete paving.

Project Vicinity:

Immediately on north side of the property is a multi-tenant industrial building housing an auto repair business, a fabrication shop and vehicle storage uses is. A trucking operation is on the south side of the property. To the east directly across Guadalupe Street is an agricultural supply and dispatch business. The Amtrack multi-modal transit center is roughly 300-feet northeasterly; and a residential neighborhood is across a twenty-foot-wide alley to the west.

DISCUSSION:

The primary issues associated with this conditional use permit are: 1) conformance to the Zoning Ordinance; 2) vehicular access and egress; and 3) interface with the surrounding neighborhood.

Zoning Code Compliance:

Municipal Code Section 18.40.030(D) (Conditional uses) specifies: *Uses permitted subject to obtaining a conditional use permit in the industrial-commercial (M-C) district include: Salvage or storage yards, including auto wrecking when conducted within a solid fence of a sufficient height to screen operations and materials inside...*

Visual/Screening: As specified above, the stored materials should be enclosed with a solid fence and screened from view off-site. In this case, the narrow property is “sandwiched” between industrial operations on the north and south sides. Both of the neighboring facilities have similar outdoor storage components. Therefore, visibility of the storage area from any public right-of way is already limited. Five to six-foot tall chain link fencing currently encloses the entire property. A condition has been added to require vertical slats to be added to the fencing to further screen the storage area from view.

Storage Area Surface: Code Section 18.60.030(J) specifies: *All driveways and parking areas shall be surfaced to provide a durable and dustless surface...* In this case, the site is already substantially covered with concrete paving. The pavement has a concrete curb around it and is in good condition. A small area (roughly 1,200 square feet) contains the railroad tracks that support the railroad car and is the only unpaved portion of the storage site. If the railroad car is removed in the future; the applicant will pave the area prior to any storage activity in that portion of the property. A condition has been added specifying that any storage activity will occur only on the fully paved portions of the property.

Site Access and Vehicle Maneuvering: Municipal Code Section 18.60.030(F) states: *off-street parking areas shall be designed to permit the operator of a vehicle to maneuver... ..without driving upon any portion of a public street.* This code section applies to all non-residential parking and driveways. The clear intent is to ensure commercial and industrial vehicles do not routinely back-out onto a public street. In this case, the 25-foot-wide property appears to be too narrow to accommodate routine vehicle turn-around movements within the property. A condition has been added prohibiting any back-out of the property. All service vehicle exiting will be “drive-through only” with vehicles using both Guadalupe Street on the east side and the alley on the west side for through entering and existing the site.

Interface with the Neighborhood: As noted, this segment of Guadalupe Street is typified by a wide variety of industrial/commercial operations. Many include similar outdoor equipment and vehicle

storage areas. Thus, the proposed storage use should fit compatibly with the existing uses the immediate area.

Possibly the most sensitive land uses in the area are the Amtrack transit center to the east and residential neighborhoods to the west. As stated, this very narrow property has an extremely limited exposure to Guadalupe Street. Therefore, no visual or any other impact is anticipated to the transit center. The 20-foot alley and a six-foot masonry wall separates the homes to the west from the various industrial operations on the east side of the alley. Thus, potential adverse impacts to any of the nearby properties is expected to be negligible.

Conclusion:

The site is substantially covered with concrete paving and needs very little in the way of improvements to accommodate the tow yard storage use. Furthermore, the use is consistent with and similar to many of the other industrial/commercial operations in the immediate area. Staff believes that the vehicle storage use is a proper and fitting use for this narrow property.

FISCAL IMPACT:

As noted, the property is already a very infill small property located within a fully developed portion of the City. As conditioned, the use is consistent with the zoning on the property. No new fiscal impact would result from the project.

ATTACHMENTS:

1. Resolution No. 2025-05, including CEQA Notice of Exemption (Exhibit 1), Approval Findings (Exhibit 2), and Conditions of Approval (Exhibit 3).
2. Aerial Site Map
3. Site Plan

RESOLUTION NO. 2025-05

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GUADALUPE, CALIFORNIA, APPROVING
CONDITIONAL USE PERMIT 2024-054-CUP TO ALLOW AN OUTDOOR VEHICLE STORAGE YARD AT 301
GUADALUPE STREET (APN 115-163-013).**

WHEREAS, Mr. Jason Sahagun (the “Applicant”) has applied to the City of Guadalupe for a conditional use permit allow a vehicle tow and storage yard on a 4,750 square-foot property in the M-C (Industrial-Commercial) zoning district at 301 Guadalupe Street; and

WHEREAS, Municipal Code Section 18.40.030(D) specifies a visually screened outdoor storage yard is a conditional use, requiring a conditional use permit in the M-C (Industrial-Commercial) zoning district; and

WHEREAS, the property is a twenty-five-foot-wide strip of land that is substantially covered with concrete paving, and the property is bounded on the north and south sides by industrial operations that have similar outdoor storage facilities; and;

WHEREAS, consistent with the specifications of the M-C zone, the storage site will be enclosed with slatted chain-link fencing and the property is provided with through ingress and egress between Guadalupe Street on the east side and an alley on the west side; and

WHEREAS, staff has reviewed the project and has concluded that the property is suitable and fitting for the storage use; and as conditioned the use meets the applicable specifications of the Zoning Ordinance; and

WHEREAS, the City Council held a duly noticed public hearing on January 28, 2025, at which time all interested persons were given the opportunity to be heard and notice of said hearing was published in the Santa Maria Times at least 10 days prior to the public hearing. Said public hearing notice of the hearing in three public places in the City (including one at the area affected). of said property also receiving notice; and

WHEREAS, after hearing evidence from City staff and taking public testimony, the City Council finds, pursuant to the Findings attached to this Resolution as Exhibit 2, including findings made pursuant to the California Environmental Quality Act, and subject to the project’s Conditions of Approval attached to this Resolution as Exhibit 3, that the approval of the conditional use permit is consistent with the City’s General Plan, applicable Articles of the City’s Municipal Code; and

WHEREAS, the City Council has considered the entire administrative record, including application materials, staff report, the California Environmental Quality Act determination, and oral and written testimony from interested persons; and

WHEREAS, the City Council finds that after completely reviewing this conditional use permit it can be seen with certainty that there is no possibility that the activity in question may have a significant effect

on the environment, and therefore the activity is not subject to CEQA per CEQA Guidelines Section 15315, Minor Land Divisions, Exhibit 1; and

WHEREAS, the City Council finds that approval of the outdoor storage use would be consistent with the City’s General Plan and Title 18 (Zoning Code) and of the City of Guadalupe Municipal Code; and the Council therefore has the ability to make the required findings, including findings pursuant to the California Environmental Quality Act; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Guadalupe as follows:

SECTION 1. The recitals and findings set forth above are true and correct and incorporated herein by reference.

SECTION 2. The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance of the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

PASSED, APPROVED AND ADOPTED at a regular meeting on the 28th day of January 2025 by the following vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

I, Judy Wilson, City Clerk of the City of Guadalupe DO HEREBY CERTIFY that the foregoing Resolution, being **Resolution No. 2025-05**, has been duly signed by the Mayor and attested by the City Clerk, all at a regular meeting of the City Council, held January 28, 2025, and that same was approved and adopted.

ATTEST:

Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney

To: County Clerk
County of Santa Barbara
123 E. Anapamu Street
Santa Barbara, CA 93101

From: City of Guadalupe
918 Obispo Street
P.O. Box 908
Guadalupe, CA 93434

Project Title: Sahagun Vehicle Storage

Project Applicant: Jason Sahagun, President, Central City Towing

Project Location-Specific: 301 Guadalupe Street

Project Location-City: City of Guadalupe Project Location-County: Santa Barbara County

Description of Nature, Purpose, and Beneficiaries of Project:

The project is a minor conditional use permit to allow an outdoor vehicle tow and storage yard on a 4,750 square-foot property located in the M-C (Commercial - Industrial) zoning district. The storage space is covered with concrete and has most recently been used for storage of miscellaneous vehicles and equipment. With the exception of minor improvements (visual screening and approximately 1,200 square feet of additional paving) no substantial change would occur to the existing site condition.

Name of Public Agency Approving Project: Guadalupe City Planning Department

Name of Person or Agency Carrying Out Project: Bill Scott, Contract City Planner

Exempt Status: (check one)

- Ministerial (Sec. 15268);
- Declared Emergency (Sec. 15269(a));
- Emergency Project (Sec. 15269(b)(c));
- Categorical Exemption. State type and section number: Class 1 (15301) Minor Land Division.**
- General Exemption (Section 15061(b)(3))

Reasons why project is exempt:

A Class 1 Categorical Exemption has been issued for the project. The project consists of the leasing and operation of an existing facility. The project would permit an outdoor tow and storage yard on a property currently housing miscellaneous stored materials. The project site is of negligible size (4,750 square feet) and is already improved with curbed concrete paving. The site is located between similar uses in a fully urbanized portion of the City. The property is zoned for M-C (Industrial Commercial) use and the zoning district that conditionally permits the proposed use. The project requires no substantial improvements and no expansion of the existing use of the property. Thus, the project qualifies for a Categorical Exemption as specified by section 15301 of the CEQA Guidelines.

Lead Agency Contact Person: Bill Scott, Phone: (805) 478-4778

Department Representative: _____.

Acceptance Date: _____.

Date Filed by County Clerk: _____.

EXHIBIT 2 - FINDINGS
Sahagun Tow and Storage Yard
{2024-054-CUP}

1.0 CEQA Findings

1.1 CONSIDERATION OF THE CATEGORICAL EXEMPTION AND FULL DISCLOSURE

The City Council has considered the Class 1 Categorical Exemption specified by CEQA Section 15332 together with the Project Description as provided in the staff report herein, and the comments received and considered during the public review process for the project. The Categorical Exemption has been completed in compliance with CEQA and is adequate for this proposal.

1.2 FINDING OF NO SIGNIFICANT EFFECT

On the basis of the whole record, it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, and therefore the activity is not subject to CEQA.

1.3 LOCATION OF DOCUMENTS

The documents and other materials which constitute the record of proceedings upon which this decision is based are in the custody of the City of Guadalupe, 918 Obispo Street, Guadalupe, CA 93434.

1.0 2.0 Administrative Findings

2.1 CONDITIONAL USE PERMIT FINDINGS

Pursuant to City of Guadalupe Municipal Code, Section 18.72.050, a Conditional Use Permit shall be approved only if all of the following findings can be made:

A. *The overall design of the new structure(s) and the architectural style.*

The project is a vehicle tow and storage yard. No buildings or structures are existing on the property and none are proposed. The 4,570 property is substantially covered with concrete paving and is tailored for the proposed use.

- B. The physical and design relationship with existing and proposed structures on the same site and in the immediately affected surrounding area.*

No new structures are proposed. The narrow (25-foot wide) property is bounded on the north and south by similar uses. The location of the storage site is well suited for the proposed use.

- C. Site layout, orientation and location of buildings and structures and relationship with open areas and topography.*

No new development is proposed. The project consists primarily of allowing a storage use on a property already improved with concrete paving.

- D. Colors, types and variation of building materials.*

Not applicable. The storage facility will make fencing improvements to ensure stored materials a visually screened from view off-site.

- E. Potential interference with scenic views.*

The project site is a fully urbanized infill site in inner City of Guadalupe and would have no impact on natural scenic views.

- F. Height, materials, colors and variations in boundary walls, fences or screen planting.*

As noted, existing perimeter fencing will be slatted to screen the stored materials from view off-site. Use of materials such as barbed wire, razor wire and similar materials is prohibited.

- G. Location and type of existing and proposed landscaping.*

An existing landscape planter at the Guadalupe Street entry is planted with shrubbery. The existing landscape theme is deemed to be satisfactory.

EXHIBIT 3

CONDITIONS OF APPROVAL Sahagun Tow and Storage Yard {2024-054-CUP}

GENERAL CONDITIONS

GENERAL CONDITIONS

1. Project Description: This Project Description establishes the general use parameters for a temporary vehicle impoundment and storage yard on a 4,750 square-foot property at 301 Guadalupe Street in the M-C (Commercial – Industrial zoning district (APN 115-163-013). Use of the property is limited to only to storage. No vehicle dismantling, parting or salvage yard activities shall be permitted on the premises. The permittee shall comply with this project description, and the approved Site Plan entitled: *Site Plan Central Coast Towing Vehicle Storage Yard*, attached hereto and incorporated. Any changes to the project description or conditions may require a permit amendment as determined by the Planning Director. Contact the Planning Department prior to changing anything onsite or a change in use. The property shall be maintained, operated, sold, leased, or financed in compliance with this project description, the approved plan set and conditions of approval.
2. The Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers, and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of this permit or to determine the reasonableness, legality or validity of any condition attach hereto. City shall promptly notify Applicant of any such claim, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligation of this condition. Applicants' acceptance of this permit approval or commencement of construction or operations under the approval shall be deemed to be acceptance of all conditions of approval.
3. In the event that any condition imposing a fee, exaction, or dedication is challenged by the project sponsors in an action filed in a court of law or threaten to be filed therein which action is brought within the time period provided for by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.

4. Visual Screening: Within 60 days of occupancy of the premises, the applicant/owner shall ensure that vertical slats, or an equivalent satisfactory to the Planning Director are installed on all fencing to ensure that stored materials are screened from view off-site. Screening materials shall be of a neutral color to the satisfaction of the Planning Director.
5. Barbed Wire/Razor Wire Prohibited: Use of barbed-wire, razor wire or similar materials is expressly prohibited.
6. Railroad Car Removal: A railroad car is currently being stored on the property. At such time that the railroad car and supporting railroad tracks are removed, that area shall be paved with concrete paving to City standards. Prior to commencement of any paving, the applicant shall contact provide notice to the Department of City Planning and Building.
7. Site Access and Egress: The narrow (25-foot wide) property appears to be too narrow to accommodate routing on-site vehicle turnaround. Ingress onto and egress from the property is accommodated by a driveway from Guadalupe Street and a driveway from the alley on the east side of the property. At all times through driveway access shall be maintained to accommodate vehicle circulation. At no time shall vehicles be permitted back-out onto any public street or right-of-way.
8. Site Maintenance: The site and its accessways shall be maintained in a clean and orderly manner at all times. The owner/operator shall ensure a routine maintenance program is implemented to include, but not be limited to: routine removal of litter and debris from the premises and the site perimeters.

STANDARD PLANNING CONDITIONS

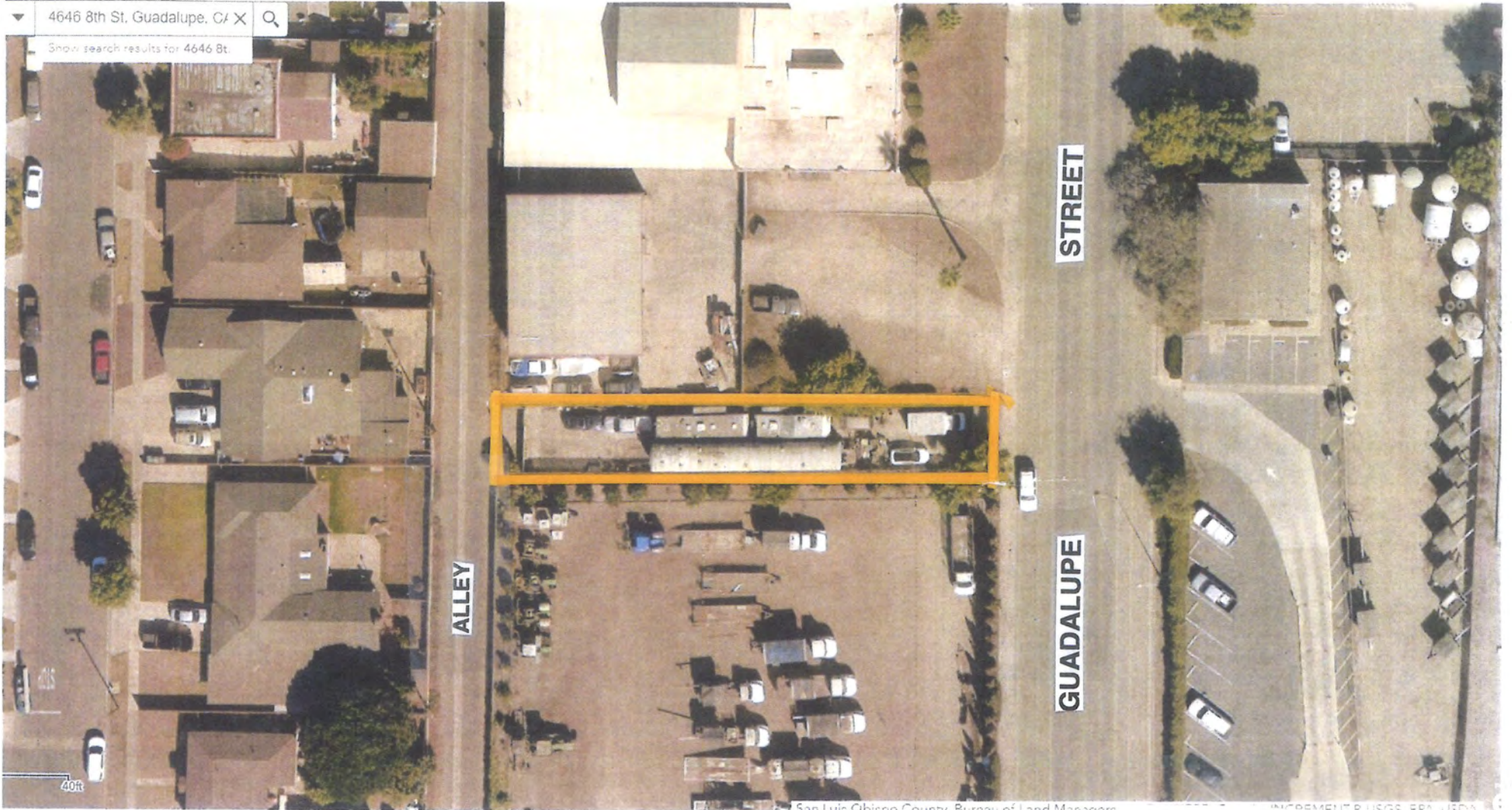
9. Security: Any identified illegal activity shall be immediately addressed and terminated by the property management.
10. Fence and Wall Maintenance: Fences and walls shall be maintained in an upright vertical and unbroken condition and in accordance with Municipal Code Chapter 12.52.125. Any graffiti shall be removed within 48 hours.
11. Time Limitation: This conditional use permit is valid for a period of two years from the date of its issuance. The permit shall become null and void if a building permit is not implemented, to the satisfaction of the Planning Director, within the two-year period.
12. Time Extensions: All Projects: The Owner/Applicant may request a time extension prior to the expiration of the permit or entitlement for development. The review authority with jurisdiction over the project may, upon good cause shown, grant a time extension in compliance with City rules and regulations, which include reflecting changed circumstances and ensuring compliance with CEQA. If the Owner/Applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and

additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts.

13. Site Maintenance General: The site shall be kept clean with regular pick-up of any trash accumulating on the property as stipulated under the provisions of Municipal Code Section 8.50.070.
14. Outdoor Storage: Outdoor storage of goods, materials, equipment, and vehicles shall only occur in designated areas screened from public view.
15. Compliance with Conditions: The applicant shall always comply with these conditions. If a complaint is filed with the City, staff will review the complaints and determine if a meeting with the applicant and complainants can resolve the issue(s). If no resolution is reached, a hearing will be scheduled before the City Council for staff to present a recommendation to resolve the issue(s). The applicant shall be responsible for the fees to cover staff time.
16. Public Nuisance: Any public nuisance determined to be significant by the City can result in a public hearing before the City Council. The Council, after reviewing staff input and public comment, will determine if the facility is operating within the approved conditions of approval. If the operation is found not to be compliant with the conditions, a decision could be made to amend or add conditions or to revoke the permit altogether. The operator is responsible for City fees to process the nuisance hearing.
17. Expiration Date: GMC 18.72.130 Any conditional use permit or variance granted in accordance with the terms of this title shall be null and void if not used within one year from the date of the approval thereof, or within any shorter or longer period of time if so, designated by the City Council. (Ord. 189 Art. 5 §4, 1980)
18. Agreement to Comply: Approval of this Conditional Use/Design Review Permit is not valid until the property owner or authorized agent signs and returns the Agreement to Comply form, agreeing to the terms and Conditions of Approval. The signed form must be submitted to the Planning Department prior to issuance of a Zoning Clearance.
19. Revocation: In accordance with Municipal Code Section 18.72.140 (A), this conditional use permit may be revoked by the City Council in the manner hereinafter set forth if any of the conditions or terms of such permits are violated. Before the City Council considers revocation of any permit, the City Administrator or his/her designee shall hold a hearing thereon after giving written notice thereof to the permittee at least 10 days in advance of the hearing. Within 5 days after the hearing, the City Administrator, or his/her designee shall transmit a report of its findings and its recommendations on the revocation to the City Council.

End of Conditions

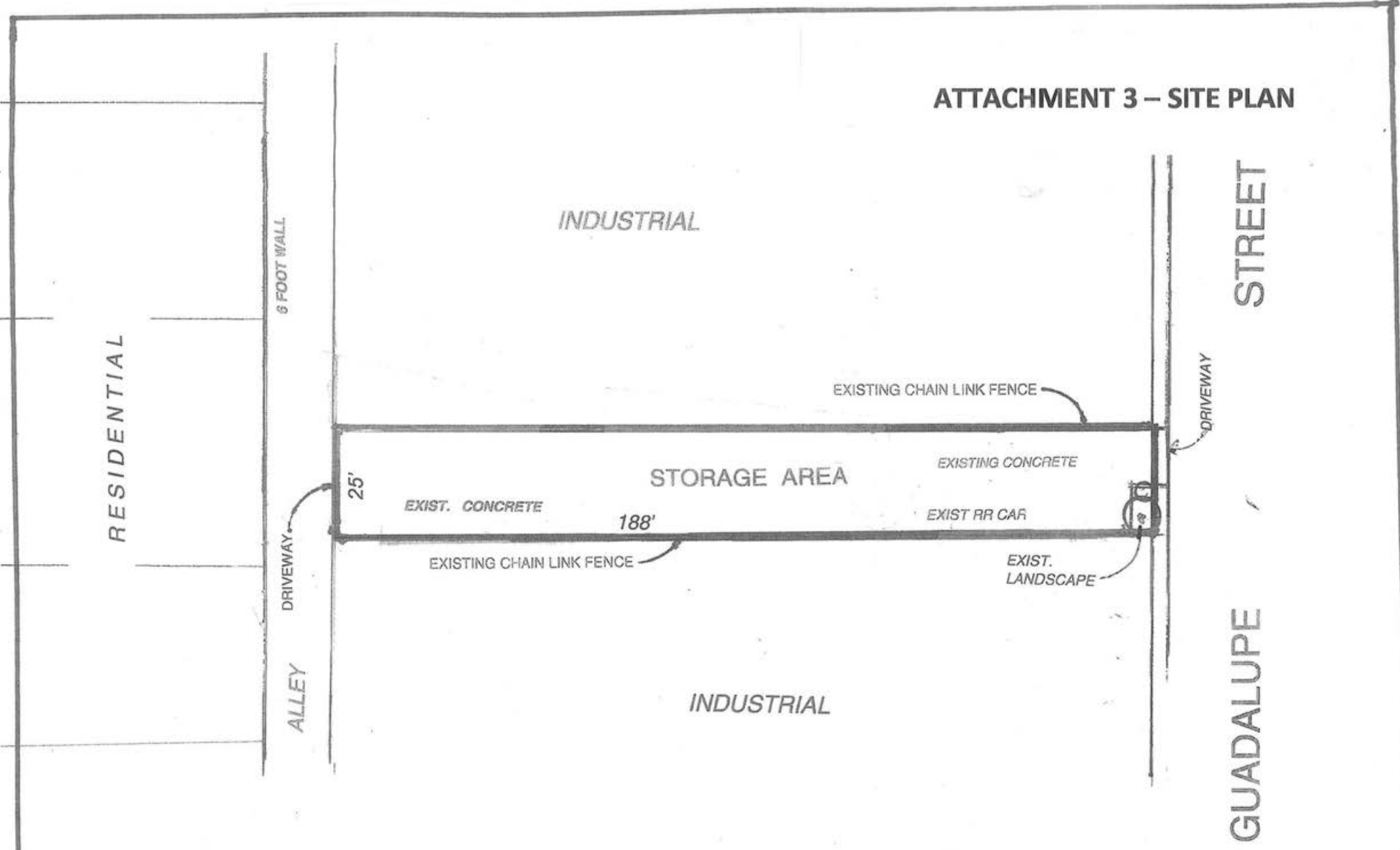
ATTACHMENT 2 – AERIAL SITE AND VICINITY MAP



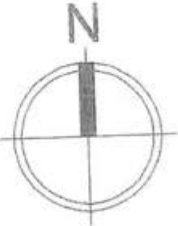
San Luis Obispo County, Bureau of Land Management



ATTACHMENT 3 – SITE PLAN



SITE PLAN
 CENTRAL COAST VEHICLE STORAGE YARD
 2024-054-CUP
 301 GUADALUPE STREET
 115-163-013





Agenda Item No. 10

REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE Agenda of January 28, 2025

Bill Scott

Todd Bodem

Prepared by:
Bill Scott, Contract City Planner

Approved by:
Todd Bodem, City Administrator

SUBJECT: Public Hearing to consider Map 29,071 a tentative parcel map (2024-036-LS) to subdivide a 0.53-acre parcel into two lots. The property is located in the MIX (Mixed-Use) zoning district at 640 and 718 Guadalupe Street (APN 115-140-004).

RECOMMENDATION:

It is recommended that the City Council:

- a. Receive a presentation from staff;
- b. Conduct a public hearing, including: 1) an opportunity for the applicant to present the proposed project, 2) receive any comments from the public; and
- c. Approve Tentative Parcel Map 2024-036-LS, including the requisite findings, a CEQA Class 15 Exemption, and the Conditions of Approval.

BACKGROUND:

The Applicant, Ms. Christina Shallenberger, representing Mr. Carlos Castaneda property owner, is requesting City Council approval of a Lot Split Map (Tentative Parcel Map) to subdivide a 0.53-acre (23,074-square-foot) parcel into two lots. The property is located in the MIX (Mix-Use) zoning district at 640 and 718 Guadalupe Street.

A single-family home currently occupies the northerly portion of the property, and three (3) two-family (duplex) buildings are existing on the southerly portion (Attachment 3 - Aerial Site Map). County building permit records indicate the existing structures have occupied the property since the early 1960s.

The Applicant has expressed the intent to separate the portion of the property containing the home from the portion containing the three duplexes. The subdivision would then allow the separate sale of the single-family home. As shown on the map, the resulting lot containing the home (Parcel "1") would be 9,419 square-feet in size; and the southerly lot containing the three duplexes (Parcel "2"), would be 13,655 square-feet in size. (Attachment 3 – Tentative Parcel Map).

Project Site Vicinity:

Surrounding the property to the north are various residential dwellings and multi-family residential uses are to the east. Vacant lands are to the south; and established single-family homes are across Guadalupe Street to the west. The lot split property is in a Planning Area that warrants particular attention.

General Plan Update:

In November 2022, the City Council adopted the 2042 update to the City's General Plan. During the General Plan update the Downtown Mixed-Use land use designation was applied to all of the properties on both sides of Guadalupe Street between Eleventh Street and Seventh street. As stated by the General Plan: *The primary purpose of the Downtown Mixed-Use designation is to promote Downtown Guadalupe as a fully occupied commercial, civic, and cultural focal point for the City.* To support this purpose, under the Downtown Mixed-Use designation a wide variety of commercial, service and entertainment uses are permitted. However, wholly residential uses are not permitted. In this area residential uses are limited only to upper floor apartments, condominiums and single-from occupancy units above the ground level commercial uses.

Central Business District:

To further the intent of the Downtown Mixed-Use land use designation, the Central Business District (CBD) commercial overlay has also been applied to this segment of Guadalupe Street. The stated revitalization strategy for the CBD is: *To bring new residents to the area who in turn become new customers for the commercial businesses that are located in the district.* Where existing two-story commercial development already exist, the CBD envisions rehabilitation and retrofit of those buildings and to convert their second stories into appropriate residential uses. Where lots are vacant or significantly underutilized, new mixed-use development is encouraged. In the southernmost portion of the CBD, wholly residential projects consisting of two- or three-story townhome, apartment or condominium development would also be allowed.

The 2042 General Plan update has applied the Downtown Mixed-Use land use designation and the CBD (Central Business District) overlay to the proposed lot split property.

DISCUSSION:

The primary considerations associated with this subdivision are: 1) conformance to the Subdivision Ordinance; 2) conformance to the Zoning Ordinance; and 3) General Plan consistency.

Conformance to the Subdivision Ordinance:

Section 17.32.30 (Design Standards) of the City's Subdivision Ordinance establishes minimum size, width, depth and access criteria for newly created lots. This code section specifies:

- A. *The minimum area of lots shall be 3,630 square feet, with a minimum width of 45 feet, except in cases of R-1-M and planned unit developments.*
- B. *Lots having an average depth of more than three times the average width shall not be approved.*
- C. *All lots shall have vehicular access to a street.*

As shown on the preliminary map, the resulting Parcel 1 would be 9,491 square-feet and Parcel 2

would be 13,655 square-feet in size respectively. Therefore, both lots will substantially exceed the 3,630 square-foot size minimum. The northerly Parcel "1" would have an average width of approximately sixty-six (66) feet and the southerly Parcel "2" would have an average width exceeding one hundred forty-three (143) feet. Both lots will be within the required lot depth to width ratio. Therefore, both lots will meet the design specifications of the Subdivision Ordinance.

The single-family home and the duplex complex are served by separate driveways. The existing driveways will remain unchanged for both lots. The City Engineer has indicated that the property is fully served by municipal services and the resulting lots will continue to meet Department of Public Works specifications for utility and service provision. Therefore, the lot split will meet all of the criteria for the creation of new lots as specified by of the Subdivision Ordinance.

Conformance to the Zoning Ordinance:

Permitted Uses: As shown on the City's Official Zoning Map, the lot-split property is zoned for MIX (Mixed-Use) development. Consistent with the General Plan, the primary uses allowed by the MIX (Mixed-Use) zone are commercial uses with limited types of supporting residential uses.

More specifically, the permitted types of residential uses are described in Code Section 18.35.020(24), as follows: *Residential development, up to 30 units per acre, including: (a) residences occupying second floors (e.g., above ground floor nonresidential uses)... and (b) attached two- and three-story residences occupying their own site... (limited to townhouse style condominiums, etc.)...* The second form of wholly residential products is limited to the portion of Guadalupe Street south of Seventh Street.

Non-conforming Uses: As described above, the existing house and duplex complex are not the types of residential development permitted by the MIX (Mixed-Use) zone. Therefore, the existing uses are considered "*legal*" *nonconforming*. Section 8.08.496 of the zoning ordinance recognizes that a legal non-conforming ("grandfathered") use may continue indefinitely as long as the use is appropriately maintained and is not abandoned or discontinued. It should also be noted that prior to the 2023 application of the MIX (Mixed-Use) zoning, the property was zoned G-C (General Commercial). Thus, the legal non-conforming status of the existing residences is not new but has long been established.

Lot Line Placement: To accommodate building and fire code standards the new property line will be placed five (5) feet to south of the existing home. As a result, the lot split will transfer a small portion of the property originally established as part of the duplex complex to become a part of the single-family home property. Although the size of the duplex site will be slightly reduced, all of the requisite open space and building setback standards will be maintained on the duplex site. No change to the existing parking would result. Thus, the subdivision would not create a conflict with any land use or development standard of the zoning ordinance.

General Plan Consistency:

As stated, the General Plan has designated the lot split site for future use or redevelopment under the Downtown Mixed-Use land use designation and the Central Business District (CBD) overlay. Typically, larger lots are best suited to accommodate the types of development envisioned under the General Plan. Staff believes, since the subdivision would create smaller lots, the potential for future redevelopment with the more substantial types of mixed-use or townhome development envisioned under General Plan would become more difficult and less likely to achieve in the future.

On the other hand, it is recognized that the existing housing on the property supports immediate housing supply objectives. Therefore, the lot split could be considered consistent with General Plan objectives to maintain a sufficient supply of affordable housing. It should also be noted that the existing duplex buildings are over 60 years old and are not designed to current standards. Unless those units continue to be carefully maintained, their useful life as viable housing may be limited. Therefore, if the lot split is approved, the property owner should diligently work to maintain the existing units to the highest standard possible.

Conclusion:

In summary, the lot split will accommodate the objectives of the property owner to subdivide and separately sell the existing house on the property. The lot split would meet the requisite specifications of the subdivision ordinance; and the subdivision would not conflict with the zoning ordinance. Staff believes that the resulting smaller lots could discourage the long-term General Plan vision to encourage more substantial types commercial, residential or mixed-use development along Guadalupe Street. Yet, it is also recognized, if properly maintained, the existing housing on the property may continue to support shorter-term Planning objectives to protect and maintain an adequate supply of affordable housing.

FISCAL IMPACT:

As noted, the property is already developed and no immediate change in use is anticipated. The City Engineer has concluded the property is already provided with all required municipal services. No new immediate fiscal impacts are anticipated.

ATTACHMENTS:

1. Resolution No. 2025-06, including CEQA Notice of Exemption (Exhibit 1), Approval Findings (Exhibit 2), and Conditions of Approval (Exhibit 3).
2. Aerial Site and Vicinity Map
3. Tentative Parcel Map 29,071

RESOLUTION NO. 2025-06

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GUADALUPE, CALIFORNIA, APPROVING MAP 29,071 A LOT SPLIT MAP (TENTATIVE PARCEL MAP) 2024-036-LS, TO SUBDIVIDE A 0.53-ACRE PARCEL INTO TWO LOTS ON PROPERTY AT 640 AND 718 GUADALUPE STREET (APN 115 -140 - 004)

WHEREAS, Ms. Christine Shallenberger (the “Applicant”) representing Mr. Carlos Castaneda (“Property Owner”) has applied to the City of Guadalupe for a Lot Split Map (tentative parcel map) to subdivide a 0.53-acre parcel at 640 and 718 Guadalupe Street into two lots; and

WHEREAS, the property is currently developed and is occupied by a single-family home on its northerly portion and three duplex buildings are existing on the southerly portion of the property; and the subdivision would accommodate the Owner’s expressed desire to separate and sell the single-family homesite; and

WHEREAS, the property in this segment of Guadalupe Street is zoned under the MIX (Mixed-Use) zoning district, and has a General Plan land use designation of Downtown Mixed-Use with the Central Business District (CBD) overlay; and

WHEREAS, as shown on the subdivision map 29, 071 the two resulting lots are identified as Parcel 1, a 9,419 square-foot lot; and Parcel 2 a 13,655 square-foot lot, and

WHEREAS, staff has reviewed the project and has concluded that the two resulting lots will meet all of the criteria for the creation of new lots as specified by Section 17.32.030 of the City’s Subdivision Ordinance; and

WHEREAS, the existing residential uses on the property are longstanding uses, established legally before the current MIX (Mixed-Use) zoning was applied to the property; and staff has concluded that the subdivision will not conflict with any land use or development standard established by Municipal Code Chapter 18, the Zoning Ordinance; and

WHEREAS, the lot split would create smaller lots, and staff has expressed the belief the smaller lots could impair the likelihood for future redevelopment with the types of commercial, mixed-use and higher density residential uses envisioned under the Downtown Mixed-Use General Plan land use designation and the CBD overlay; and

WHEREAS, it is also recognized that the timing of future redevelopment cannot be predicted and the existing housing on the property may continue to support City’s objectives to protect and maintain the supply of affordable housing stock; and thus, the lot split is substantially consistent with the short-term housing objectives of the City’s General Plan; and

WHEREAS, the City Council held a duly noticed public hearing on January 28, 2025, at which time all interested persons were given the opportunity to be heard and notice of said hearing was published in the Santa Maria Times at least 10 days prior to the public hearing. Said public hearing notice of

the hearing in three public places in the City (including one at the area affected). of said property also receiving notice; and

WHEREAS, after hearing evidence from City staff and taking public testimony, the City Council finds, pursuant to the Findings attached to this Resolution as Exhibit 2, including findings made pursuant to the California Environmental Quality Act, and subject to the project's Conditions of Approval attached to this Resolution as Exhibit 3, that the approval of the Subdivision, is consistent with the City's General Plan, applicable Articles of the City's Municipal Code; and

WHEREAS, the City Council has considered the entire administrative record, including application materials, staff report, the California Environmental Quality Act determination, and oral and written testimony from interested persons; and

WHEREAS, the City Council finds that after completely reviewing this Lot Split Map (Tentative Parcel Map), it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, and therefore the activity is not subject to CEQA per CEQA Guidelines Section 15315, Minor Land Divisions, Exhibit 1; and

WHEREAS, the City Council finds that approval of the subdivision would be consistent with the City's General Plan, the provisions of Title 17 (Subdivision Ordinance) and Title 18 (Zoning Code) and of the City of Guadalupe Municipal Code; and the Council therefore has the ability to make the required findings, including findings pursuant to the California Environmental Quality Act; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Guadalupe as follows:

- SECTION 1.** The recitals and findings set forth above are true and correct and incorporated herein by reference.
- SECTION 2.** The City Council does hereby find and determine that none of the findings for denying Map 29,071 a Lot Split Map (Tentative Parcel Map) 2024-036-LS, set forth in Guadalupe Municipal Code section 17.20.060(B), can be made based on the evidence set forth in the administrative record pertaining to this application as provided before or at the Council hearing on this matter, whether verbal or documentary.
- SECTION 3.** The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance of the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

PASSED, APPROVED AND ADOPTED at a regular meeting on the 28th day of January 2025 by the following vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

I, Judy Wilson, City Clerk of the City of Guadalupe DO HEREBY CERTIFY that the foregoing Resolution, being **Resolution No. 2025-06**, has been duly signed by the Mayor and attested by the City Clerk, all at a regular meeting of the City Council, held January 28, 2025, and that same was approved and adopted.

ATTEST:

Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney

To: County Clerk
County of Santa Barbara
123 E. Anapamu Street
Santa Barbara, CA 93101

From: City of Guadalupe
918 Obispo Street
P.O. Box 908
Guadalupe, CA 93434

Project Title: 640 and 718 Guadalupe Street Lot Split

Project Applicant: Christina Shallenberger

Project Location-Specific: E/side of Guadalupe Street, 600 feet south of Olivera Street (640 Guadalupe Street)

Project Location-City: City of Guadalupe Project Location-County: Santa Barbara County

Description of Nature, Purpose, and Beneficiaries of Project:

The project is a Lot Split (Tentative Parcel Map) Tract 29,071 (2024-036-LS), to subdivide a 0.53-acre (23,074 square-foot) parcel into two lots. The proposed subdivision site is currently occupied by a detached single-family home on the north side and three duplex buildings are existing on the southerly portion of the property. No new development or change in use is proposed under this subdivision. The subdivision would allow the property owner the flexibility to separately put one or both of the resulting properties on the market. The resulting northerly Parcel "1" would be 9,419 square-feet in size; and the southerly Parcel "2" would be 13,655 square-feet in size.

Name of Public Agency Approving Project: Guadalupe City Planning Department

Name of Person or Agency Carrying Out Project: Bill Scott, Contract City Planner

Exempt Status: (check one)

- Ministerial (Sec. 15268);
- Declared Emergency (Sec. 15269(a));
- Emergency Project (Sec. 15269(b)(c));
- Categorical Exemption. State type and section number: Class 15 (15315) Minor Land Division.**
- General Exemption (Section 15061(b)(3))

Reasons why project is exempt:

The project qualifies for a Class 15 categorical exemption (Minor Land Divisions). The project consists of the division of a 0.53-acre property into two lots. The project is fully developed and currently contains a single-family detached residence and three duplex buildings. No change in use will result from this subdivision. The subdivision was determined to meet the requisite specifications of Guadalupe Municipal Code Section 17.32.030 (Subdivision Ordinance); and all applicable provisions of Title 18 (the City's Zoning Ordinance). No variances or exceptions are required, and all municipal services are in place to serve the property. The topography of the subdivision site is generally flat, and the property has not been involved in the division of a larger parcel within two years. Thus, the project qualifies for a Categorical Exemption as specified by section 15315 of the CEQA Guidelines.

Lead Agency Contact Person: Bill Scott, Phone: (805) 478-4778

Department Representative: _____.

Date Filed by County Clerk: _____.

EXHIBIT 2 - APPROVAL FINDINGS
640 AND 718 GUADALUPE STREET LOT SPLIT
2024-036-LS

1.0 CEQA Findings

1.1 CONSIDERATION OF THE CATEGORICAL EXEMPTION AND FULL DISCLOSURE

The City Council has considered the Class 15 Categorical Exemption specified by CEQA Section 15315 together with the Project Description as provided in the staff report herein, and the comments received and considered during the public review process for the project. The Categorical Exemption has been completed in compliance with CEQA and is adequate for this proposal.

1.2 FINDING OF NO SIGNIFICANT EFFECT

On the basis of the whole record, it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, and therefore the activity is not subject to CEQA.

1.3 LOCATION OF DOCUMENTS

The documents and other materials which constitute the record of proceedings upon which this decision is based are in the custody of the City of Guadalupe, 918 Obispo Street, Guadalupe, CA 93434.

2.0 ADMINISTRATIVE FINDINGS

Pursuant to City of Guadalupe Municipal Code Section 17.32.030 the subdivision is hereby found to meet the following:

- A. *The minimum allowable lot size in the MIX (Mixed-Use) commercial zoning district is 3,630 square-feet.*

The size of resulting lots would be 9,419 square-feet (Parcel "1") and 13,655 square-feet (Parcel "2"). Thus, each of the resulting lots would exceed the minimum standard established by municipal Code Section 17.32.030.

- B. Code Section 17.32.030 specifies: *Lots having an average depth or more than three times the average width shall not be approved.*

The resulting Parcel "1" would be generally rectangular in shape and Parcel "2" would have a trapezoidal configuration. The resulting are proportional lots and will be fully aligned with the minimum lot width to lot depth ratio established by Code Section 17.32.030.

C. All lots shall have vehicular access to a street.

Roadway access to the resulting parcels will remain unchanged. Both of the resulting parcels will maintain vehicular access from Guadalupe Street.

D. Furthermore: the project is found to be consistent with the General Plan, in that:

The property is designated by the General Plan for Downtown Mixed-Use development. In general, larger lots are typically required to accommodate the types of commercial and residential uses envisioned under the Downtown Mixed-Use designation. However, no redevelopment proposals have come forward or are envisioned in the near future; and it may be possible that the smaller lots may accommodate some form of development under the Downtown Mixed Use General Plan designation. Furthermore, retention of the existing housing units on the property will continue to support short-term General Plan objectives to retain and preserve viable affordable housing units in the City.

E. That the project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, or whether it will be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City.

The project site is fully developed with a single-family detached home and three duplex buildings. The seven existing dwellings are occupied and have been long-established on the property. No change in the current use would result from the property. Thus, the project is not anticipated to be detrimental to the health, safety, morals, comfort or general welfare of persons residing in the community.

EXHIBIT 3

CONDITIONS OF APPROVAL 640 AND 718 Guadalupe Lot Split {2024-036-LS}

GENERAL CONDITIONS

1. *Project Description:* The project consists of the subdivision of a 0.53 (23,074-square-foot) parcel into two lots. The subdivision site is zoned for MIX (Mixed-Use) development. Any change in use will comply with the permitted uses and development standards of the MIX (Mix-Use) zone. The property is currently occupied by a single-family home on the northerly portion of the property and three duplex buildings are on the southerly portion of the property. The property owner has expressed the desire to separately dispose of one or both of the resulting properties. As shown on the preliminary map, the two resulting lots, identified as Parcel 1 and Parcel 2, would be 9,419 square-feet and 13,655 square-feet in size respectively. No new development or change in use is proposed with this subdivision. The existing uses on the property are identified a Non-Conforming Uses; and must be operated and maintained in accordance with the provisions of Municipal Code Chapter 18,68.
2. The Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers, and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of this permit or to determine the reasonableness, legality or validity of any condition attach hereto. City shall promptly notify Applicant of any such claim, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligation of this condition. Applicants' acceptance of this permit approval or commencement of construction or operations under the approval shall be deemed to be acceptance of all conditions of approval.
1. in the event that any condition imposing a fee, exaction, or dedication is challenged by the project sponsors in an action filed in a court of law or threaten to be filed therein which action is brought within the time period provided for by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.

PLANNING DEPARTMENT CONDITIONS

2. Effectuation: This conditional Lot Split (tentative parcel map) shall not become effective until the final Parcel Map has been approved by the Office of the Santa Barbara County Surveyor and recorded by the Office of the County Recorder.
3. Expiration: As specified by Section 66452.6 of the Subdivision Map Act, the applicant must submit a Final Map for review by the Office of the County Surveyor within twenty-four (24) months of approval of this tentative parcel map. Failure to submit a Final Map in a timely manner will result in expiration of this tentative parcel map.
4. Use: Any use or activity on the resulting Parcels "1" and "2" shall be conducted in full conformance with the applicable provisions of the City of Guadalupe Municipal Code. Any proposed change in use or modification to any building or structure on either of the resulting properties shall require prior approval from the Planning Department.

END OF CONDITIONS

ATTACHMENT 2 - AERIAL SITE MAP





REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE
Agenda of January 28, 2025

Bill Scott

Prepared by:
Bill Scott, Contract City Planner

Todd Bodem

Approved by:
Todd Bodem, City Administrator

SUBJECT: Public Hearing to consider a Design Review Permit (DR-2024-057-DR) for the *8th Street Apartments*, a 7-unit multi-family development on a 0.75-acre property in the R-3 (High Density residential) zoning district at 4646 Eighth Street, APN 115-121-010.

RECOMMENDATION:

It is recommended that the City Council:

- 1) Receive a presentation from staff;
- 2) Conduct a public hearing, including: a) an opportunity for the applicant to present the proposed project, and b) receive any comments from the public; and
- 3) Adopt Resolution No. 2025-07 approving the Design Review Permit 2024-057-DR, for the 8th Street Apartments.

BACKGROUND:

The applicant Ms. Tina Mukai, representing the property owner, Mastani Properties LLC, is requesting a Design Review (DR) permit to allow the construction of seven apartments on a 0.75-acre property. The property is located in the R-3 (high density residential) zoning district at 4646 Eighth Street. Municipal Code Section 18.70.010(6) requires City Council approval of a Design Review Permit to allow any development containing more than three apartments on properties in the R-3 zoning district.

Site and Surroundings:

The project site is located at the westernmost terminus of Eighth Street opposite of Pioneer Street (4646 Eighth Street) (Attachment 2 - Site Vicinity Map). A six-unit apartment building currently occupies the westerly portion of the property. The remainder of the property is vacant. County records indicate the existing apartment building was constructed in the mid-1960's.

The subject property is just west of Downtown Guadalupe. Miscellaneous commercial and residential uses in Downtown Guadalupe are to the north and to the east. The westerly boundary of the property abuts the westerly City limits. Agricultural lands in unincorporated county are to the west.

Project Description:

This Design Review Permit proposes to construct seven (7) new apartments in addition to the six-unit apartment building already existing on the property. As shown on the plan set, the six existing apartments are identified as Units “A” – “F.” The seven new apartments will be identified as Units “G” – “N” (there is no Unit “I”). Four of the new apartments are upper floor units located over carport parking on the east side of the property. The other three new units are ground floor apartments. One of which is attached to north side of the new four-unit building. The two other ground-floor apartments would be located just south of the existing six-unit building on the west side of the property (Attachment 3 - Sheet A-0). A newly paved driveway and a 29-space parking lot would be installed as a part of the project. Common open space areas and decorative landscaped areas would make up the remainder of the property. In addition, the project would provide new fencing, new outdoor lighting and would make some exterior improvements to the existing six-unit building.

Proposed Units:

The new two-bedroom apartments range from approximately 750 square feet to 800 square feet. The floor plan indicates each of the of the new apartments will have two bedrooms and one bathroom with a combined kitchen, living, and dining area. Each new unit will have a small private patio or deck (Attachment 3, Sheets A.1 and A.2 - Floor Plans). The six existing apartments are described as two-bedroom units. Except for some exterior improvements (e.g., new paint), no substantial changes are proposed to the existing apartments in association with the current project.

Building Design:

The building architecture is considered a “Contemporary Mission” style. As shown on the plans, the exterior building walls consist primarily of a plaster finish and include a color combination of white with “Downing Straw” (a beige color) and “Alabaster” (a light brown color). Building roofs are described as concrete “S” tyle in a terracotta (reddish) color. A new fence to be constructed along the westerly property line will be constructed of a durable composite material (created from recycled wood and plastic) in a reddish-brown color. Metal balcony fencing will be painted gloss black. Building exteriors are provided in the plan set (Attachment 3, Building Exteriors - Sheets A-3 through A – 4.1).

DISCUSSION

The primary issues associated with this Design Review permit are: 1) establishing a quality living environment for project residents, and; 2) conformance to the Zoning Ordinance.

RESIDENTIAL LIVABILITY

As noted, the existing six-unit apartment building was constructed under a Santa Barbara County building permit in the early 1960’s. Because the County had much less stringent development standards at that time, improvements now considered as standard such as a paved driveway and parking are currently lacking. The current project will remedy those deficiencies and make additional improvements as well.

The project will add common seating areas in the form of picnic tables. The picnic tables will be located on the northerly and southerly sides of the complex (Attachment 3, Landscape Plan – Sheet CLP.01). The seating areas will have decomposed granite surfaces and are roughly 100 to 200 square feet in

size. The areas are surrounded by landscaping. Bike racks are provided; and new sidewalks will connect the internal portions of the project site to the exterior sidewalks along Eighth Street. As the most substantial improvement, the project will modernize the unimproved (dirt) parking lot and driveway by installing new paving, striping, landscaping and lighting. Therefore, the current project is anticipated to provide a satisfactory living environment for its residents, and as well the project should significantly improve the living environment for the residents of the existing six-unit building.

CONFORMANCE TO THE ZONING ORDINANCE

To promote neighborhood compatible development and a quality living environment, the Zoning Ordinance establishes minimum standards for new multifamily developments, as follows:

Project Density:

Required: For projects in the R-3 zone, Municipal Code 18.32.202(A) specifies *...no more than one dwelling unit for each 1,452 square feet of land within the lot or parcel on which the dwelling is located.* Based on the 31,984 square-foot property, up to twenty-two (22) apartment units would be allowed and a total of thirteen (13) apartments would result from the project. The project is well within the allowable density as specified by the Municipal Code for multi-family development in the R-3 zone.

Building Setbacks:

Municipal Code Section 18.52.040 establishes required building setbacks from each of the property lines for properties in the R-3 zone. In this case, the property line along Eighth Street is considered the “front” of the property. Therefore, the required building setbacks are as follows:

Setbacks Required:

Front (Eighthth Street): 20 feet.

Rear (south): 15 feet.

Sides (east and west): 5-feet.

Setbacks Provided: Building setbacks are shown on the Site Plan (Attachment 3, Sheet A.0 – Master Site Plan). As shown, the building setbacks meet the above-cited Municipal Code setback standards.

Building Height:

Required - Maximum: Municipal Code Section 18.52.020 specifies: *...in the R-3 district, the height of a building or structure shall not exceed 2 stories, or a height of 35 feet.*

Provided: As shown on the plan (Sheet A-2), at its highest point, the two-story structure is a maximum of twenty-six feet, 5-inches. Thus, the building heights are well within the allowable Municipal Code height limits.

Landscape:

Required: The Municipal Code specifies that: *Not less than 10% of a parcel shall be covered with dense landscaping that consists of trees, plants and shrubs and may include fencing...*

Provided: The Conceptual Landscape Plan (Attachment 3 – Sheet CLP -01) shows the project is providing 6,676 square-feet or twenty percent (20%) landscape coverage. The Landscape Plan depicts a good variety of trees, shrubs and ground cover, including a ten (10) foot wide planting strip along the Eighth Street frontage. The project exceeds the 10% Municipal Code landscape coverage standard; and the distribution of the landscaped areas around the site is considered good.

Private Yards:

Ground Floor Units - Required: For ground apartments Code Section 18.52.100 requires: *a minimum of 100 square feet of private open space for each ground-floor apartment. The private open space shall have a minimum dimension of 8-feet. For upper floor apartments.*

Provided: Ground floor buildings G, H and J each contain a small outdoor patio. The ground level patios range from 70 square feet to 72 square feet in size. Each private yard has a depth of six feet. Therefore, the size of the ground floor private yards is below the 100 square-foot code standard. In this case, staff believes that offsetting consideration should be given to the other substantial improvements that will be made by the project. For example, the project's paving, landscaping and lighting improvements will serve to remedy a more significant deficiency that currently exists on the property. Furthermore, the size deficiency of the patios is deemed to be relatively minor given the project will provide outdoor seating areas. The provision of which is above and beyond the zoning code open space requirement. Thus, staff believes that the size deficiency in the ground level patios should be considered to be *substantially* in conformance with the intent of the 100 square-foot private yard standard.

Upper Floor Units - Required: For upper floor apartments Code Section 18.52.110 specifies: *a minimum of 50-square-feet of above-ground private open space. The private deck shall have a minimum depth of 5 feet.*

Provided: For the four upper floor apartments (Units K - N), each apartment is provided with an outdoor deck. The decks are placed outside of the living room. Each of the decks is just over 74 square feet and each deck has a minimum depth of 6 feet. Therefore, all of the upper-floor private decks meet or exceed the minimum Municipal Code standard for the provision of private open space.

Parking

Parking - Required: For apartments, Section 18.60.050 of the Zoning Ordinance specifies: *a minimum of two (2) off-street parking spaces for each apartment unit; one (1) of which should be covered.*

Provided: The project proposes a total of twenty-nine (29) parking spaces, nine (9) of which are covered. The 29-space parking lot will meet to Municipal Code requirement for the thirteen total apartments on the property. Additionally, the nine covered spaces exceed the requirement covered parking for the seven new apartments. Thus, the Municipal Code off-street parking standard for both the existing and the new apartment project has been met.

Walls/Fencing:

As specified by Municipal Code Section 18.52.122(B) a six- to eight-foot composite fence will be installed to replace a dilapidated wood fence existing along westerly property line. The new fence will shield and separate the project site from the agricultural operations occurring to the west.

General Plan Conformance:

The following General Plan policies and objectives are applicable to the project:

Land Use Policy LU-1.4: *The City will support the development of underutilized land with a mix of land uses that increases livability and benefits the community.*

The project will redevelop this underutilized property with seven new multi-family housing units. The project will support the objectives of the City’s Housing Element and state mandates to increase the overall housing supply; as well as improve livability for the current occupants.

Land Use Goal LU-9: *To promote quality, attractive and self-sustaining residential development at all levels of affordability for all segments of the population.*

The project exhibits a high-quality design in terms of visual appearance. The new paving and landscape improvements and the building architecture will complement and visually enhance the immediate surroundings. The seven new apartments are modest in size but provide a full and complete living environment. The project will incrementally support General Plan objectives to increase the City’s affordable housing supply.

FISCAL IMPACTS:

Fiscal impacts are anticipated to be negligible. As noted, the project is an infill project located in an established neighborhood where City infrastructure and services are already provided. The project developer will install, and upgrade required utilities and public infrastructure necessary to serve the project.

CONCLUSION:

The project will make substantial improvements to this underutilized and unimproved property. The site plan, landscape plan and building architecture exhibit quality in design and visual appearance; and the living units and amenities will provide for a quality living environment for both existing and new residents. The project will establish housing in a short walkable distance to the goods, services, entertainment opportunities and transportation facilities available in the City’s Downtown. The seven-unit *8th Street Apartment* project should be a benefit for its residents and to the immediate neighborhood as well.

ATTACHMENTS:

1. Resolution No. 2025-07, including CEQA Notice of Exemption (Exhibit 1), Approval Findings (Exhibit 2) and Conditions of Approval (Exhibit 3)
2. Aerial Site Map

RESOLUTION NO. 2025-07

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GUADALUPE, CALIFORNIA, APPROVING DESIGN REVIEW PERMIT (2024-057-DR) FOR 8th STREET APARTMENTS, TO ALLOW A SEVEN-UNIT APARTMENT PROJECT ON A 0.75-ACRE PROPERTY LOCATED AT 4646 EIGHTH STREET (APN 115 -121 - 010)

WHEREAS, Ms. Tina Mukai (“Applicant”) representing Mastani Properties, LLC I (“Property Owner”) has applied to the City of Guadalupe for a Design Review (DR) Permit to allow the *8th Street Apartments*, a development consisting of seven new apartments in addition to six existing apartments on a 0.75-acre property at 4646 Eighth Street; and

WHEREAS, the property is located in the R-3 (High-Density) residential zoning district and Municipal Code Section 18.70.010(6) requires City Council approval of a Design Review permit for any multi-family development containing more than three dwelling units in the R-3 zoning district; and

WHEREAS, staff has reviewed the project and the proposed improvements and has concluded that the project meets or meets or substantially meets the requisite Municipal Code standards for multi-family development proposals, and furthermore, staff believes that the improvements proposed by the project will significantly improve the living environment for residents of the existing six-unit apartment building; and

WHEREAS, the City Council held a duly noticed public hearing on January 28, 2025, at which time all interested persons were given the opportunity to be heard and notice of said hearing was published in the Santa Maria Times at least 10 days prior to the public hearing. Said public hearing notice was posted in three public places in the City (including one at the area affected of said property also receiving notice); and

WHEREAS, after hearing evidence from City staff and taking public testimony, the City Council finds, pursuant to the Findings attached to this Resolution as Exhibit 2, including findings made pursuant to the California Environmental Quality Act, and subject to the project’s Conditions of Approval attached to this Resolution as Exhibit 3, that the approval of the project is consistent with the City’s General Plan, and applicable Articles of the City’s Municipal Code; and

WHEREAS, the City Council has considered the entire administrative record, including application materials, staff report, the California Environmental Quality Act determination, and oral and written testimony from interested persons; and

WHEREAS, the City Council finds that after completely reviewing this Design Review Permit, it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, and therefore the activity is not subject to CEQA per CEQA Guidelines Section 15332 In-fill Development Projects), Exhibit 1; and

WHEREAS, the City Council finds that approval of the Design Review would be consistent with the City’s General Plan and Title 18 (Zoning Code) and of the City of Guadalupe Municipal Code; and the Council therefore has the ability to make the required findings, including findings pursuant to the California Environmental Quality Act; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Guadalupe as follows:

- SECTION 1.** The recitals and findings set forth above are true and correct and incorporated herein by reference.
- SECTION 2.** The City Council does hereby find and determine that the project established under this Design Review permit (2024-057-DR) meets or substantially meets the specifications of the Guadalupe Municipal Code.
- SECTION 3.** The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance of the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

PASSED, APPROVED AND ADOPTED at a regular meeting on the 28th day of January 2025 by the following vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

I, Judy Wilson, City Clerk of the City of Guadalupe DO HEREBY CERTIFY that the foregoing Resolution, being **Resolution No. 2025-07**, has been duly signed by the Mayor and attested by the City Clerk, all at a regular meeting of the City Council, held January 28, 2025, and that same was approved and adopted.

ATTEST:

Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney

To: County Clerk
County of Santa Barbara
123 E. Anapamu Street
Santa Barbara, CA 93101

From: City of Guadalupe
918 Obispo Street
P.O. Box 908
Guadalupe, CA 93434

Project Title: Eighth Street Apartments

Project Applicant: Tina Mukai representing Mastani Properties I, LLC.

Project Location-Specific: 4646 Eighth Street.

Project Location-City: City of Guadalupe

Project Location-County: Santa Barbara County

Description of Nature, Purpose, and Beneficiaries of Project:

The project is a Design Review (DR) permit to allow addition of seven-unit multi-family dwelling units and associated parking and landscaping on a 0.75-acre property in the R-3 (High Density Residential) zoning district. A six-unit apartment building is currently existing on the westerly portion of the property. The current project is anticipated to provide benefit the current residents by providing substantial upgrades on the property. Furthermore, the project would support the City’s General Plan objectives to incrementally increase the City’s housing supply in close proximity to the goods, services, entertainment and transportation opportunities in the City’s Downtown Core.

Name of Public Agency Approving Project: Guadalupe City Council

Name of Person or Agency Carrying Out Project: Tina Mukai, applicant, in behalf of Masatani Properties, property owners/developers.

Exempt Status: (check one)

- Ministerial (Sec. 15268);
- Declared Emergency (Sec. 15269(a));
- Emergency Project (Sec. 15269(b)(c));
- Categorical Exemption. Section 15332**
- General Exemption (Section 15061(b)(3))

Reasons why project is exempt:

The project consists of the addition of seven new apartments in addition to six-existing apartment units (total 13 units) on a 0.75-acre site in the R-3 Zoning District in the City of Guadalupe.

The project is exempt in accordance with CEQA Class 15332 because:

- a) The project is consistent with the High Density Residential General Plan land use designation and corresponding R-3 High Density Residential zoning that is applied to the property.
- b) The proposed development will occur on an infill site no more than five-acres in size; and the property is wholly within the Guadalupe City limits.
- c) The site is surrounded by urban uses on three sides; on the north, south and east.
- d) The partially developed property has no value as habitat for rare or endangered species.
- e) Approval of the seven-unit apartment addition would not result in significant effects related to traffic, noise, air quality, or water quality; and the infill site is adequately served by all required utilities and municipal services.

Furthermore, the project includes design measures that are sustainable and encourage pedestrian activity and usage of other alternative transportation modes.

Based on the above, it can be seen with certainty that the proposed project could not have a significant effect on the environment.

Contact Person: Bill Scott Phone Number: (805) 478-4778

Signature: _____ Title: Contract City Planner

Date received for filing at County Clerk's Office: _____

EXHIBIT 2 - FINDINGS FOR APPROVAL

**DESIGN REVIEW PERMIT
4646 EIGHTH STREET APARTMENTS
2024-057-DR**

1.0 CEQA Findings

1.1 CONSIDERATION OF THE CEQA EXEMPTION AND FULL DISCLOSURE

The City Council has considered the Class 32 Categorical Exemption together with the comments received and considered during the public review process for the project. The Class 32 Exemption has been completed in compliance with CEQA and is adequate for this proposal.

1.2 FINDING OF NO SIGNIFICANT EFFECT

Based on the whole record, it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, and therefore the activity is not subject to CEQA.

1.3 LOCATION OF DOCUMENTS

The documents and other materials which constitute the record of proceedings upon which this decision is based are in the custody of the City of Guadalupe, 918 Obispo Street, Guadalupe, CA 93434.

2.0 Administrative Findings

2.1 DESIGN REVIEW FINDINGS

Pursuant to City of Guadalupe Municipal Code, Section 18.73.010, a Design Review Permit shall be approved only if all the following findings can be made:

- A. *The buildings, structures, and landscaping are appropriate and of good design in relation to other buildings, structures, and landscaping, on-site or in the immediate vicinity of the project.*

The project has been designed with full consideration for both the livability for future residents and compatibility with the neighborhood in which the project is located. The project will make improvements to the underutilized property. The building architecture, landscape improvements and open space amenities will substantially improve both the visual appearance for the neighborhood and the livability for existing residents on-site.

- B. *That the development will be compatible with the neighborhood, and its size, bulk and scale will be appropriate to the site and the neighborhood.*

As shown on the approved plan set, the new one and two-story apartment buildings exhibit exteriors that include materials and colors that are harmonious and fit compatibility with the immediate neighborhood.

- C. *There is harmony of material, color, and composition of all sides of a structure or buildings as well as consistency and unity of composition and treatment of exterior elevation.*

The apartment buildings are of simple but attractive design. The primary exterior colors include white and beige exteriors, with traditional red tile roofing. The building materials and colors relate harmoniously with one another.

- D. *Any mechanical or electrical equipment is well integrated into the total design concept and screened from public view to the maximum extent practicable.*

Any mechanical and/or electrical equipment will be designed and located to minimize visibility and will be screened from public view as applicable.

- E. *All on-site utility services are appropriate in size and location.*

All utility services are appropriate in their size and placement on the project site.

- F. *The grading will be appropriate to the site.*

The grading is appropriate for the site; and will include appropriately designed stormwater treatment. The conceptual grading plan has been preliminarily endorsed by the City Engineer for its functionality, and by the Planning Department for its tailoring of the usage of the property.

- G. *Adequate landscaping is provided in proportion to the project and the site with due regard to the preservation of existing trees, and existing native vegetation, and adequate provision will be made for the long-term maintenance of such landscaping.*

Appropriate landscaping is provided throughout the project site, including but not limited to a total of three tree plantings in the front setback along Eighth Street and six other trees are distributed in landscaped areas throughout the remainder of the site. The project has been conditioned to require permanent maintenance of the landscaped areas in accordance with Municipal Code 18.64.120.

- H. *The development will not adversely affect significant public scenic views.*

The project would promote development an underutilized infill site in the inner portion of the City. There are no significant viewsheds in the project vicinity. The site improvements,

landscape and tree planting plan are anticipated to improve the overall appearance of the project site and improve the current appearance of the underutilized lot.

- I. *All exterior site, structure and building lighting is well-designed and appropriate in size and location.*

All exterior lighting fixtures shall be located, directed, and shielded to minimize potential light and glare impacts on neighboring properties.

- J. *The proposed development is consistent with any additional design standards as expressly adopted by the City Council.*

No additional design standards were required by the City Council. However, the project was designed in full consideration of the applicable historic and neighborhood preservation goals and objectives of the City's General Plan.

- K. *The project architecture will respect the privacy of neighbors and is considerate of solar access.*

The project location and the site design will ensure no impact will result to the privacy of neighboring properties in the project area.

- L. *The project will provide for adequate street design and sufficient parking for residents and guests in a safe and aesthetically pleasing way.*

Twenty-nine parking spaces are provided. The parking is accessed through a 20-foot-wide driveway. As noted, the project is found to meet applicable City regulations pertaining to parking, access and safety.

- M. *The proposed development as shown on the project plans is in conformance with all applicable policies of the General Plan and the requirements of this title.*

As noted, the project design is in full consideration of the urban design goals of the General Plan and the project meets or exceeds the minimum standards established by the City of Guadalupe Municipal Code.

EXHIBIT 3

4646 Eighth Street Apartments

2024-057-DR

CONDITIONS OF APPROVAL

GENERAL CONDITIONS

1. **Project Description:** Subject to the conditions set forth below, this Design Review permit authorizes the improvements and uses requested by Application No. 2024-057-DR, shown in the project plans entitled: *4646 8th Street, Guadalupe CA*, (Attachment 3 to the City Council report), last dated December 20, 2024, and on file with the City of Guadalupe. The project consists of the construction and occupancy of a seven-unit apartment development in addition to six apartments existing on the 0.75-acre property. The project will install associated parking; landscaping, lighting, common open space, perimeter fencing and on-site stormwater treatment facilities.
2. Any deviations from the project description in the staff report, exhibits or conditions must be reviewed and approved by the City of Guadalupe for conformity with this approval. Deviations may require amendments to this permit, including additional CEQA review. Deviations without the above-described approval will constitute a violation of the permit approval.
3. The Applicant agrees, as a condition of approval of this resolution to indemnify, defend and hold harmless, at Applicant's expense, City and agents, officers, and employees from and against any claim, action or proceeding to attack, review, set aside, void, or annul the approval of this permit or to determine the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify the Applicant of any such claim, action or proceeding, to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligation of this condition. Applicant's acceptance of this permit approval or commencement of construction or operations under the approval shall be deemed to be acceptance of all conditions of approval.
4. If any condition imposing a fee, exaction, or dedication is challenged by the project sponsors in an action filed in a court of law or threaten to be filed therein which action is brought within the time period provided for by law, this this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
5. Driveway Encroachment: The southernmost portion of the project driveway extends onto a property owned by the City of Guadalupe (115-121-007). Prior to any construction on or use of

the southerly property, the project developer shall obtain written authorization from the City of Guadalupe. An access agreement, encroachment permit or an equivalent form of authorization shall be required to the satisfaction of the City Administrator. The requirement of this condition shall be satisfied before issuance of the first building permit.

6. Site Maintenance: The property owner shall be responsible for properly maintaining all of the improvements and facilities on the property. Maintenance responsibility shall include but shall not be limited to maintaining all portions of the property as usable, functional and visually appealing. The property shall be maintained free of litter, trash and debris, trash receptacles shall be maintained in designated storage locations. Inoperable vehicles shall be towed or removed from the premises in a timely manner (within 72 hours).
7. Wall/Fence: As new six – eight-foot-tall wall/fence shall be installed along the property line at the westerly site perimeter. The specifications for the materials and the color of the perimeter barrier shall be to the satisfaction of the Planning Director or his designee. All portions of the perimeter fencing shall be maintained wholly intact and in a vertical and upright position at all times. Graffiti shall be removed within 72 hours.
8. Existing Apartments: The project developer shall make exterior improvements to the existing six-unit apartment building. The improvements shall include but are not limited to exterior paint to complement the style and color of the new apartments. The requirements of these conditions shall be shown on the plans submitted for a zoning clearance, prior to building permit issuance and implemented prior to issuance of a building permit.
9. Exterior Lighting: The project shall install exterior lighting fixtures sufficient to illuminate and improve security in the parking areas and at apartment entries. Outdoor lighting fixtures shall be shielded to minimize glare off-site. The design and location of the lighting fixtures shall be shown on the plans submitted for a Zoning Clearance prior to issuance of a building permit.
10. Carports: Usage of the carports shall be limited to parking of operable vehicles. Storage or any use other than tenant vehicle parking in the carports or any other parking space is prohibited.
11. Zoning Clearance: Prior to a building permit submittal, the applicant shall submit an application for a zoning clearance to the Planning Department. The zoning clearance application shall include the following materials:
 - a) Ministerial application for zoning clearance (available online).
 - b) Copies of the site plan, final landscape and irrigation plan (as applicable), stormwater control plan, building elevations and final color and materials board. The materials should exhibit substantial consistency with the plans approved by the City Council during the Design Review process.
 - c) Fees: Contact Alice Saucedo, Permit Technician at: (805) 356-3903

asaucedo@ci.guadalupe.ca.us for retail commercial zoning clearance processing fees.

- d) Signed Agreement to comply with design review permit conditions.

CITY ENGINEER CONDITIONS

12. Project improvements shall be designed and constructed in accordance with City Standards and Specifications and all applicable City Ordinances. Where no City Standard or Specification exists, the Standards and Specifications of the City of Santa Maria shall govern. The decision of the City Engineer shall be final regarding the specific standards that shall apply.
13. The applicant will be responsible for obtaining an encroachment permit for all work within a public right of way or easement.
14. All facilities within or fronting the property shall comply with current ADA standards, which may require removing and replacing existing sidewalk along the property frontage.
15. A soils report will be required for this project. All earthwork design and grading shall be performed in accordance with the approved soils report and the City's grading ordinance. Soils report must address the infiltration capabilities of the soil to meet the post-construction storm requirements.
16. All curb, gutter, sidewalk, and street sections cracked or damaged during construction shall be replaced to the satisfaction of the City Engineer.
17. Landscaping shall not obscure vehicular site distances for safe entry and exit from site.
18. The driveway approach shall be 20 feet wide (minimum) and meet current ADA Standards.
19. Each dwelling unit shall have its own water meter, or as approved by the City Engineer. Each water meter will require a separate lateral to the mainline or use manifolds per City Standard Drawing WA-23A.
20. All on-site water services and fire suppression lines shall be privately owned, and shall be sized and designed by a qualified professional. Double detector checks/backflow devices shall be installed for independent fire line.
21. An erosion control plan shall be prepared by a registered Civil Engineer, included in the plan set, and approved by the City Engineer before permit issuance.
22. No Building Permits will be issued from November 1 to March 31 without the prior approval of the City Engineer and an approved erosion and sediment control plan and construction schedule. Erosion control measures shall be in place and approved by the City Engineer before

the start of construction.

23. Erosion and Drainage control features are to be available in the event of rain or other erosive action to prevent sediment from leaving the site. Erosion control devices shall be installed in advance of a forecasted storm and in place following daily construction activities. Devices shall be in place full-time during the rainy season.
24. The applicant shall be responsible for cleaning of City streets, curbs, gutters, and sidewalks of dirt tracked from the project site. Flushing dirt or debris into the City storm drain is not permitted. Cleaning shall be done periodically during construction and when directed by the City Engineer.
25. The project shall comply with all Municipal Separate Storm Sewer System (MS4) requirements. Low-impact development, best management practices and similar regulations and guidelines shall be met. The design shall comply with the Santa Barbara County Post Construction Requirements, Stormwater Technical Guide, and all future updates.
26. The developer shall submit a drainage study prepared by a registered civil engineer addressing pre- and post-development stormwater runoff. The analysis shall consider the site's build-out and include stormwater storage volumes and treatment measures. Post-development stormwater management shall be addressed and shall be consistent with the City, County, and State requirements.
27. Before final approval and/or occupancy, the applicant must prepare and submit an "Owner's Agreement to Construct and Maintain Private Drainage Improvements for Water Quality" for approval and recordation. A draft agreement is available on the City's website.
28. Prior to occupancy, the applicant must submit to the city a "Storm Water Control Measures Certificate of Approval" prepared and signed by a registered professional. The document certifies that all post-construction stormwater control measures are being met.

PLANNING DEPARTMENT CONDITIONS

29. Work commencement. The applicant shall notify City Planning Department and City Building Department staff of the start date for construction at least five (5) working days in advance of the start of work. This notification shall also include an estimated construction schedule and a truck haul route for demolished and recycled materials. The applicant shall also notify City staff of the completion of construction and demolition work no more than one working day upon completion.
30. Recycling. Excess construction materials and demolition materials shall be recycled to the extent feasible and proof of recycling in the form of receipt from the recycling facility noting recycled materials and amounts shall be provided to City staff.
31. Fees. Prior to Zoning Clearance, the applicant shall pay all applicable permit processing fees in

full, including but not limited to building permit fees.

32. Zoning Clearance. No Building Permit shall be issued until a Zoning Clearance has first been issued by the City.
33. Agreement to Comply. Approval of this Design Review is not valid until the property owner or authorized agent signs and returns the Agreement to Comply form, agreeing to the terms and Conditions of Approval. The signed form must be submitted to Planning Department prior to issuance of a Zoning Clearance.
34. Compliance with Conditions. The applicant shall comply at all times with these conditions. If complaints are filed with the City, staff will review the complaints and determine if a meeting with the applicant and complainants can resolve the issue(s). If no resolution is reached, a hearing will be scheduled before the City Council for staff to present a recommendation to resolve the issue(s). The applicant shall be responsible for the fees to cover staff time.
35. Construction Hours. The Owner/Applicant, including all contractors and subcontractors shall limit construction activity, including equipment maintenance and site preparation, to the hours between 7:00 a.m. and 5:00 p.m. Monday through Friday. No-noise generating construction shall occur on weekends or state holidays. Non-noise generating interior construction activities such as plumbing, electrical, drywall and painting (which does not include the use of compressors, tile saws, or other noise-generating equipment) are not subject to these restrictions. The applicant is advised that building inspector and planning staff will spot check and respond to complaints.
36. Landscaping shall be installed and maintained per the City-approved landscape and irrigation plan and maintained for the life of the project.
 - a. The type, size, density, and configuration of new plants shall be selected to maximize successful establishment and growth to achieve this landscaping objective within a reasonable period of time after installation.
 - b. All shrubs and plants shall be of a minimum size of one gallon, or equivalent, at the time of installation, and all trees shall be of a minimum size of 15 gallons, or equivalent, at the time of installation.
 - c. The applicant shall contact City Planning staff at least 48 hours prior to request for occupancy clearance in order to verify that landscaping and irrigation has been installed according to the approved plans, Failure to comply with the requirements could jeopardize issuance of the occupancy clearance.
37. Plans Requirements. The Owner/Applicant shall ensure all applicable final conditions of approval are printed in their entirety on applicable pages of grading/construction or building plans submitted to the Building Department.

38. Contractor and Subcontractor notification. The Owner/Applicant shall ensure that potential contractors are aware of City conditions and requirements. Owner/Applicant shall notify all contractors and subcontractors in writing of the site rules, restrictions, and Conditions of Approval and submit a copy of the notice to Planning Staff.
39. In the unexpected event archeological or paleontological resources are unearthed during project construction, all earth disturbing work within the project area of potential effect (APE) must be temporarily suspended until an archaeologist has evaluated the nature and significance of the find. After the find has been appropriately mitigated, work in the area may resume. A Native American representative should monitor any archaeological field work associated with Native American materials.
40. The project is required to comply with standard lighting requirements per the Guadalupe Municipal Code, which requires that light and glare be minimized on any adjacent properties. Exterior lighting shall be shown on all Building plans prior to approval of the Zoning Clearance and Building Permit.
41. Stormwater. The project is Tier 3 project as identified in the *Project Clean water* Technical Guide, established as the guiding document for stormwater discharges in Santa Barbara County. The project shall establish and implement a Stormwater Control Plan to the satisfaction of the City Engineer.
42. Site Maintenance General: The property and all of the facilities, including but not limited to buildings; parking areas; carport structures and trash enclosures and their immediate areas shall be maintained in an orderly manner and free of accumulations of dirt, litter to the satisfaction of the City; and as further specified by Municipal Code Chapter 18.050.070.
43. Fence and Wall Maintenance: Fences and walls shall be maintained in an upright vertical and unbroken condition and in accordance with Municipal Code Chapter 12.52.125. Any graffiti shall be removed within 48 hours.
44. In accordance with Sections 18,73.120 of the City the Municipal Code, this Design Review approval shall expire two (2) years from the date of approval, unless a building permit for the proposed improvements has been obtained prior to expatriation. Up to two one-year time extensions may be granted for good cause. An extension must be filed with the City prior to the permit expiration date.
45. Building Permits. A building permit application, plans and specifications demonstrating compliance with current California Building, Fire, Plumbing, Mechanical, Electrical, Green Building and Energy Standard Code requirements is to be submitted and permits obtained prior to construction.

FIRE DEPARTMENT CONDITIONS

46. Fire Hydrant. Prior to occupancy, the number and location of fire hydrants shall be established in compliance with the Amended City of Guadalupe Fire Code 15.08.050 to the satisfaction of the Fire Chief.
47. Fire Lane Sign Requirements. No Parking/Fire Lane signs must follow these guidelines:
- a. The CVC Code 22500.1 (CVC 22500.1) must be imprinted on the bottom of the sign.
 - b. All lettering shall be red on white reflective background no smaller than 2 inches in height.
 - c. The sign shall be no smaller than 12 inches wide by 18 inches high.
 - d. The sign shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be of durable material.
 - e. Signs shall be installed at all driveway entrances and at intervals of not less than 100 feet along all designated fire lanes.
48. Fire Lane Curb Painting Requirements. Where a curb exists adjacent to a fire lane, the top and face of the curb shall be painted with red traffic paint. Where the curb is discontinued, a red stripe and stencil as described below shall be painted to define the fire lane. Red curbs, red stripes and white stencils must be maintained in good condition and follow these guidelines:
- a) The face of the curb shall be stenciled with the words: NO PARKING FIRE LANE in white block letters a minimum 4 inches in height.
 - a. The stencil must be painted on the FACE of the curb. Exception: Under circumstances where the curb height is less than 4 inches, the stencil may appear on the top of the curb.
 - b. The stencil must appear every 50 feet or less, depending on the configuration of the fire lane. (Where a small island cannot contain both phrases, FIRE LANE must appear the NO PARKING may be omitted).
 - c. Where no curb exists adjacent to the fire lane, the edge of the fire lane shall be marked with an 8-inch-wide red stripe. In addition, a diagonal 8-inch-wide red stripe may be required between the edges of the fire lane, with the diagonal stripe connecting the stripes or curbs at the edges of the fire lane. Spacing of the diagonal stripe is every 50 feet.
 - d. The stripe shall be stenciled with the words NO PARKING FIRE LANE in white block letters, minimum 4 inches in height.
 - e. The stencil must appear every 50 feet or less, depending on the configuration of the fire lane. If the fire lane is less than 50 feet the stencil must appear at the beginning and end

of the fire lane.

49. Backflow Preventer. Prior to occupancy, the backflow prevention device shall be located to the satisfaction of the Fire Chief.

a) Fire Alarm System. A fire alarm system shall be installed in accordance with the C.F.C. and N.F.P.A. 72 standards. All alarm systems shall have an alarm permit issued by the Guadalupe Police Department. Permit shall be obtained prior to final occupancy approval. The fire alarm system shall be certificated by Underwriters Laboratories or an equivalent nationally recognized organization.

a. Deferred submittal of fire alarm plans is permitted. The plans shall be signed and sealed, on every sheet, by a registered Fire Protection Engineer or Fire Protection Contractor licensed in California.

b. A Fire alarm system, at a minimum incorporating tamper switches on control valves and a Central Station service for the water flow alarm shall be installed for fire sprinkler systems.

50. Smoke and Carbon Monoxide Detectors/Alarms. Smoke and Carbon Monoxide Detectors/Alarms shall be installed in accordance with the C.F.C., C.B.C., and N.F.P.A. 72.

51. Inspections/Approvals. The Fire Department shall inspect/approve the following:

Fire access road(s): prior to vertical combustible construction.

a) Fire hydrants: prior to vertical combustible construction.

b) Water mains: prior to vertical combustible construction.

c) Underground fire sprinkler piping: prior to concealment.

d) Overhead fire sprinkler piping: prior to installation.

e) Fire Alarm system acceptance test: prior to occupancy clearance.

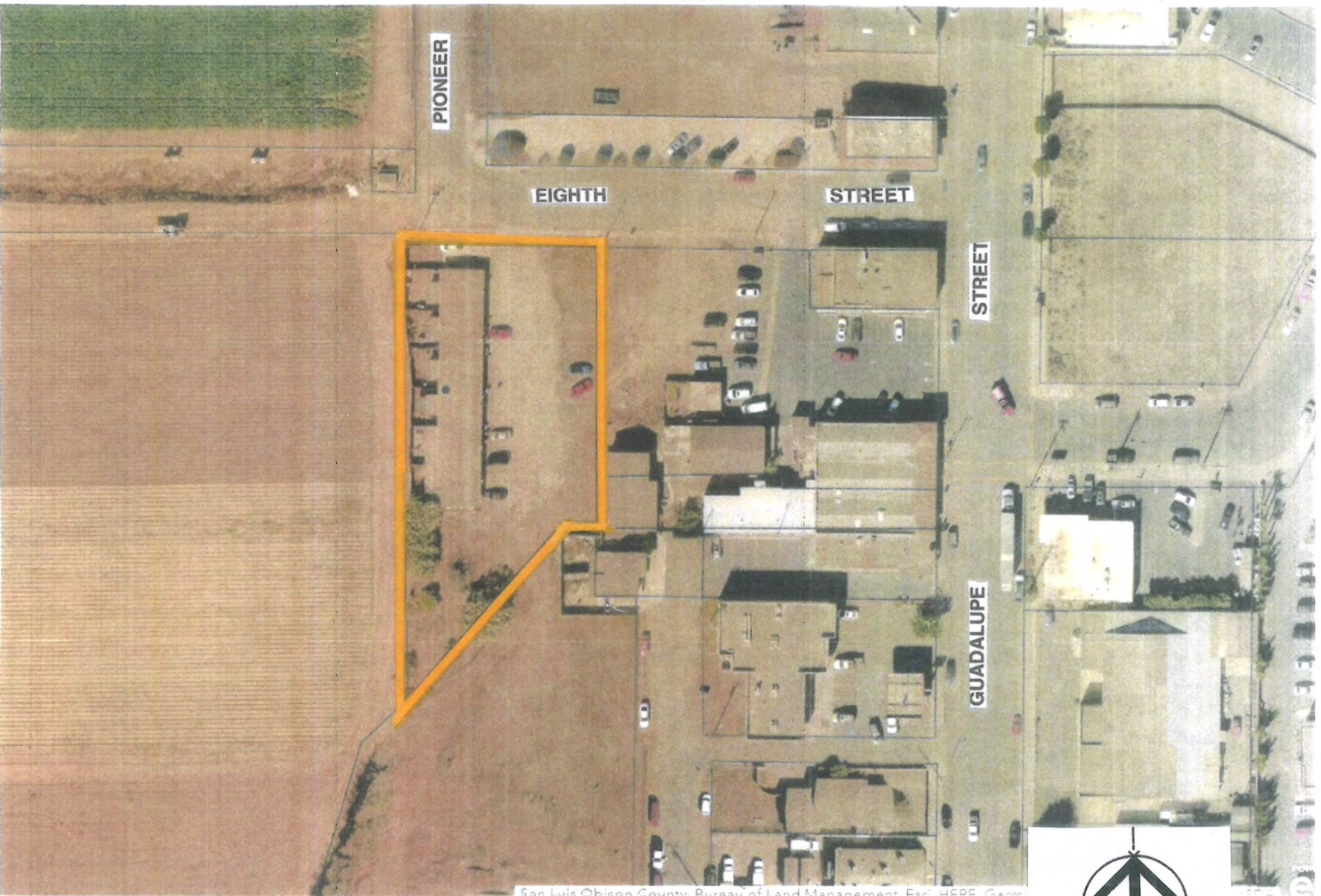
f) Fire Department Key Box; mounted in proper location w/key(s) inside: prior to occupancy clearance.

g) The Fire Department shall be given 48 hours minimum notice for all inspections via the inspection request line 805-356-3905.

h) All permits shall be issued prior to start of any work.

End of Conditions

ATTACHMENT 2 – AERIAL SITE MAP



PIONEER

EIGHTH

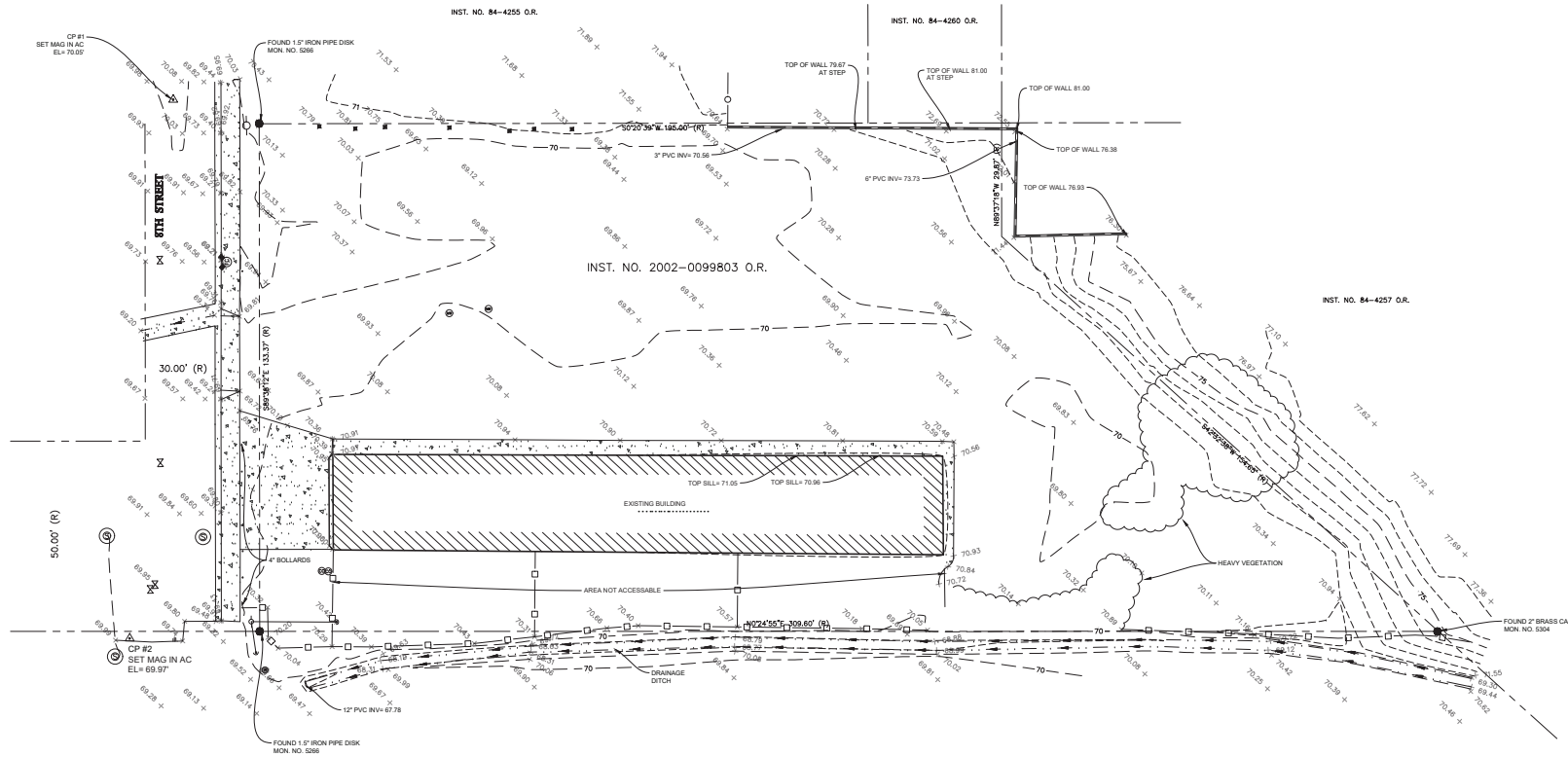
STREET

STREET

GUADALUPE

San Luis Obispo County, Bureau of Land Management, Esri, HERE, Garmin





LEGEND

	FIRE CONNECTION
	WATER VALVE
	SEWER MANHOLE
	SEWER CLEANOUT
	MONITORING WELL
	POWER POLE
	GUY ANCHOR
	IRRIGATION RISER
	RAILROAD TIE FENCE POST
	SET CONTROL AS NOTED
	178/RS/70
	EDGE OF ASPHALT
	CMU WALL
	FLOWLINE
	CHAIN LINK FENCE
	WOOD FENCE
	RECORD PROPERTY LINE

BASIS OF BEARINGS:
 COORDINATES FOR THIS PROJECT ARE CALIFORNIA COORDINATE SYSTEM NAD83, ZONE 5, EPOCH DATE: 2010, US SURVEY FEET, AS DETERMINED BY GPS OBSERVATIONS CONSTRAINED TO NGS MONUMENT "BROWN", PID DZ1804, HAVING COORDINATES N=272227.47 E=578937.61.

BENCHMARK:
 THE ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD83 AS DETERMINED BY GPS OBSERVATIONS CONSTRAINED TO NGS MONUMENT "BROWN", PID DZ1804, ELEVATION = 119.7.

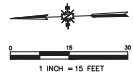
LOCAL PROJECT BENCHMARK:
 SET MAG IN ASPHALT SHOWN HEREON AS CP#1. ELEVATION= 70.05 FEET.

BOUNDARY DISCLAIMER:
 THIS SURVEY WAS COMPILED FOR TOPOGRAPHIC PURPOSES ONLY. THE BOUNDARY INFORMATION SHOWN HEREON IS INTENDED FOR ORIENTATION ONLY AND AS SUCH IS NOT INFERRED OR IMPLIED TO BE A BOUNDARY SURVEY.

SURVEYOR NOTES:
 1. DATE OF FIELD SURVEY WAS 4/06/2024.
 2. NO TITLE REPORT WAS PROVIDED FOR THIS SURVEY. POSSIBLE EASEMENTS AFFECTING PROPERTY ARE UNKNOWN.

SURVEYOR'S STATEMENT:
 THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION, AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT AT THE REQUEST OF MASATANI PROPERTIES APRIL OF 2024.

Robert Chanley
 ROBERT CHANLEY
 4/13/2024
 DATE



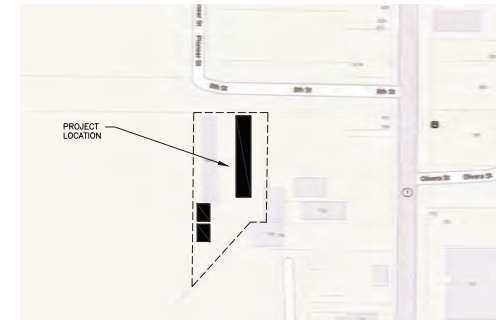
TOPOGRAPHIC SURVEY
 PREPARED FOR
 MASATANI PROPERTIES
 4646 8TH STREET
 APN: 115-121-010
 GUADALUPE, CALIFORNIA

ROBERT A. CHANLEY, PLS
 P.O. BOX 1445, PISMO BEACH, CA 93448
 (805) 448-9320

REQUIRED PARKING CALCULATION					
UNIT TYPE	# OF UNITS	AREA	PARKING REQUIRED PER BMC 19.04142	PARKING REQUIRED PER DENSITY BONUS §66915	PARKING PROVIDED
2-BEDROOM	13	780 SF	2 / UNIT = 26	1.5 / UNIT = 19.5	26 SPACES (9 COVERED SPACES)
GUESTS	-	-	1 GUEST SPACE / 13 UNITS = 3	-	3 SPACES
TOTAL	13		26	0	29 SPACES

PROVIDED PARKING CALCULATION			
TYPE	REQUIRED	PROVIDED	SIZE
ACCESSIBLE	5 (PER TABLE 11B-208.2)	1	9'x18'
CLEAN AIR/EV	10% OF SPACES (PER COBSC §4.106.4.2)	1	9'x18'
STANDARD	SEE CHART ABOVE	27	32 AT 9'x18'
TOTAL		29 UNASSIGNED SPACES	

BICYCLE PARKING CALCULATION		
TYPE	REQUIRED	PROVIDED
SHORT TERM	5% OF MOTORIZED PARKING (1) 2-CAPACITY RACK MIN.; 0 FOR RESIDENTIAL	(1) 5-CAPACITY RACKS
LONG TERM	5% OF MOTORIZED PARKING WITH 10 OR MORE TENANT-OCCUPANTS; 0 FOR RESIDENTIAL	0



PARKING CALCULATION

- *NOTE:
- DENSITY BONUS §66915 REFERS TO THE PARKING RATIOS AS DESCRIBED IN CALIFORNIA GOVERNMENT CODE TITLE 7, DIVISION 1, CHAPTER 4.3.
 - *THE PROPERTY MANAGER LIVES ON SITE AND IS INCLUDED IN THE MIN. PARKING FOR UNITS.

VICINITY MAP

SCALE: NTS

LOCATION MAP

SCALE: NTS

SITE/AREA BREAKDOWN:
TOTAL BUILDING AREA:
EXISTING:
PROPOSED:

12,604 SF
4,191 SF
5,305 SF

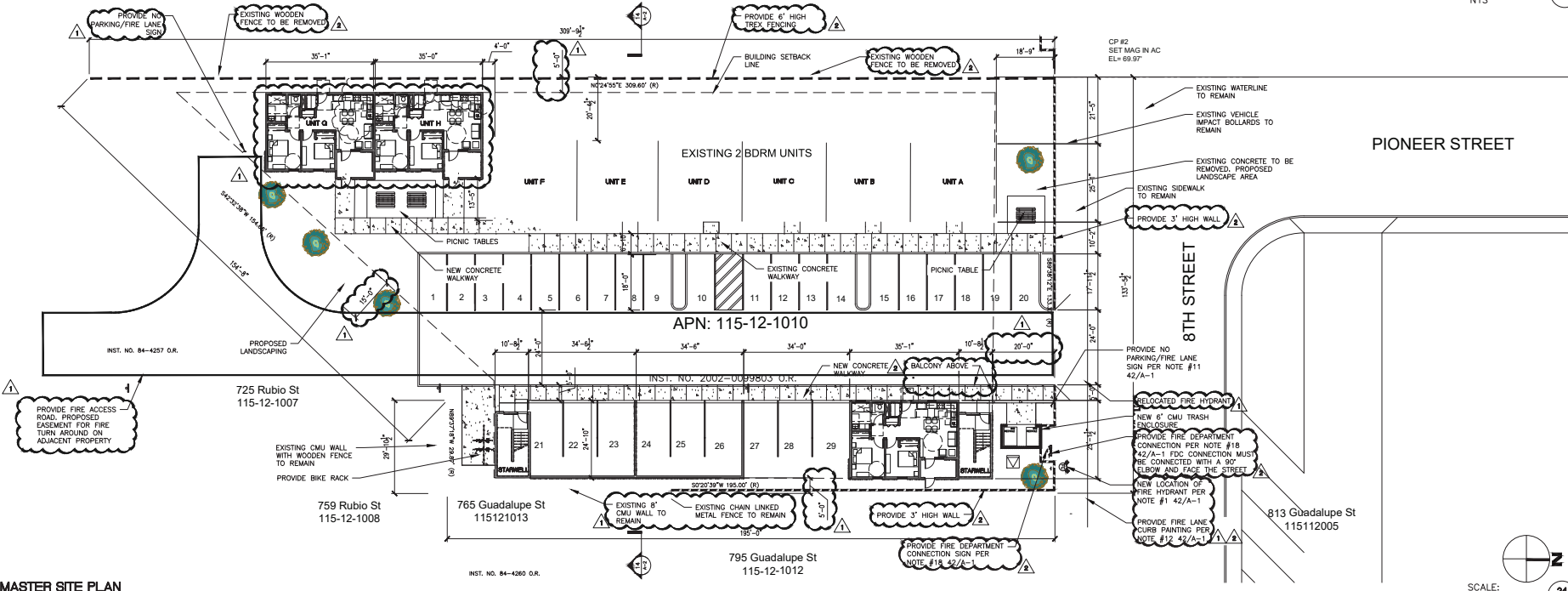
TOTAL BUILDING FOOTPRINT **9,426 SF** **17.7%**

LANDSCAPED AREA: **6,700 SF** **.15%**

TOTAL LOT AREA: **31,984 SF** **100%**

BUILDING COVERAGE STATISTICS

SCALE: NTS



MASTER SITE PLAN

SCALE: 1" = 10'-0"

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REVISIONS:

PLAN CHECK #1	11/15/24
PLAN CHECK #2	12/20/24



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SHEET CONTENTS:
SITE PLAN

DATE: 12/20/24
 PROJECT MANAGER: [Signature]
 DRAWN BY: [Signature]

A-0
 SHEET 4 OF 12



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PLAN CHECK #2 12/20/2024



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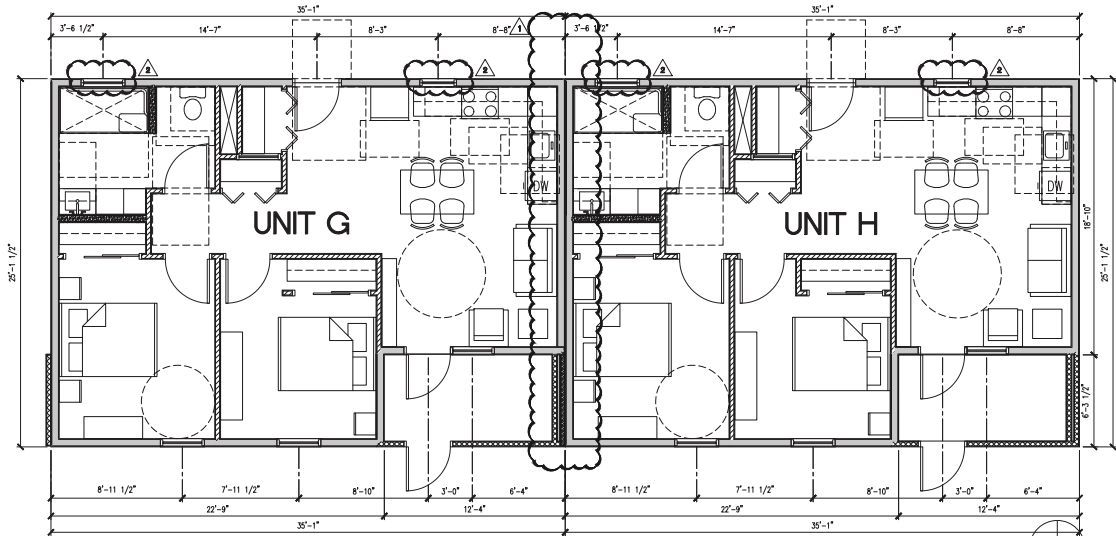
8th street apartments
Concept Plans
Guadalupe, CA 93454

SHEET CONTENTS:

FLOOR PLAN

DATE: 12/20/24
PROJECT MANAGER: gr
DRAWN BY:

A-1
SHEET 5 OF 12

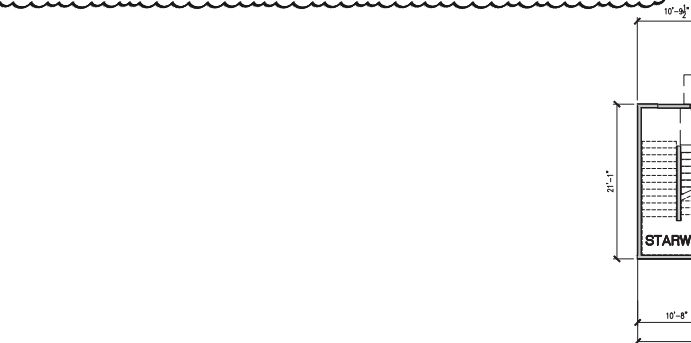


FIRST FLOOR UNITS G AND H

SCALE: 1/4" = 1'-0"

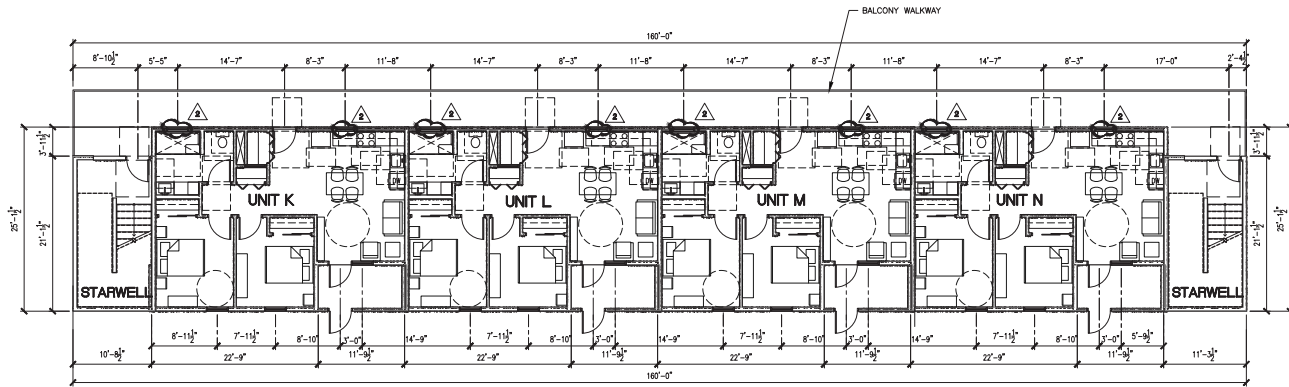
- Fire Hydrant:** Identify existing or proposed Fire Hydrants and show compliance with the Amended City of Guadalupe Municipal Fire Code §15.02.030, Appendix C, Table C102.1, Number and Distribution of Fire Hydrants, (Minimum Hydrant away from driveway to meet current standard SA W431 and SA W416(D).
- Site Plan:** Submit Site Plan. Prior to Fire Department final approval, a site plan in a PDF format shall be provided with the following information: On-site hydrants, FDC/Drains, Irrigation, Standpipes, Sprinkler Control Valves (Riser), Fire alarm panel (FACP) Units (See Electrical/Water) (Note: Standpipes location), Irrigation/Gas, Standpipes, Irrigation floor coverings, Individual floor plans including unit numbers, Laundry room(s), Elevator room(s), Roof access, Solar Panels and DC-chillout locations.
- Construction Information:** An "Emergency Construction" form that be provided to the Guadalupe Fire Department (GFD) prior to the issuance of Building Permits.
- Address Numbers:** The proposed location and design of address numbers shall be shown on the plans. New and existing buildings shall have approved address numbers, building numbers or approved identification placards in a position that is plainly legible and clearly visible from the curbside of the street or road fronting the property. These numbers shall contrast with their background. Numbers shall be a minimum of 6 inches high with a minimum stroke of 0.75 inch. Numbers smaller letters of larger size may be required based on the size and design of the building or type of buildings.
- Access:** Fire Department Access requirements shall comply with the Fire Code of the City of Guadalupe Chapter 8, Title 15 of the Guadalupe Municipal Code (MCMC), 2022 California Fire Code (C.F.C.), Section 502 and C.F.C. Appendix A. All weather surface access roads shall be installed and approved by the Fire Department prior to the issuance of a building permit for start of construction unless otherwise approved by the Fire Code Official.
- Access Roads:** An approved Guadalupe Fire Department (GFD) access road shall extend to within 150 feet of all portions of the exterior walls of the first story of the building, as measured by an approved study executed by the exterior of the building.
 - Provide a 20' Foot and minimum width.
 - 4" curbs 1' high be connected to 10%.
 - Allow Fire Department access to within 150 feet of any portion of any building.
 - Provide a minimum of 13.5' foot overhead clearance.
- Dead End Access:** Dead end fire department access (width) in excess of 150 feet shall be provided with curb and kerf-lined pavements in accordance with Title 15.02.030 of C.F.C.
- All weather surface access roads shall be installed and approved by the GFD prior to vehicle construction.
- Temporary Access:** Signs: Plans for temporary access roads shall be reviewed, inspected and approved by the GFD prior to construction in accordance with C.F.C. Section 501. Temporary access roads shall be constructed with compacted base, seals and gutters prior to vertical combustible construction. Access roads shall be constructed close and unobstructed for the duration of the construction project.
- Temporary Fire Access Road Signs:** Temporary access signage shall be placed at both entrance to the project (where necessary) in alternate construction shall be placed. These signs shall be installed prior to construction completion. Signs shall have a white background with 8 inch tall black letters to read "FIRE ACCESS" and be located in a conspicuous location visible to the access street and throughout the access road.
- Fire Lane Sign Requirements:** No Parking/Fire Lane signs shall follow these guidelines:
 - The CVC Code 22550 (CVC 22550.1) must be printed on the bottom of the sign.
 - All lettering shall be set on a white reflective background no smaller than 2 inches in height.
 - The sign shall be no smaller than 12 inches wide by 18 inches high.
 - The sign shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be of durable material.
 - Signs shall be installed at all driveway entrances and at intervals of not less than 100 feet along all designated fire lanes.
- Fire Lane Sign Placement:** Signs shall be placed adjacent to a fire lane. The top and base of the sign shall be aligned with the traffic paint. Where the sign is a driveway, a set of white and black as described below shall be painted to define the fire lane. Red curbs, red oil curbs and white stripes shall be installed in good condition and follow these guidelines:
 - The base of the curb shall be separated with the words "NO PARKING FIRE LANE" in white block letters a minimum 4 inches in height.
 - The stripe will be painted on the FACE of the curb. Exception: Under circumstances where the curb height is less than 4 inches, the stripe may appear on the top of the curb.
 - The stripe must appear every 50 feet or less, depending on the configuration of the fire lane, (where a small island corner exists both phrases, FIRE LANE must appear the NO PARKING may be omitted).
 - Where no curb exists adjacent to the fire lane, the stripe of the fire lane shall be marked with an 8-inch-wide and stripe. In addition a diagonal 8-inch-wide red stripe may be required between the edges of the fire lane, with the diagonal stripe connecting the stripes or curbs at the edges of the fire lane. Spacing of the diagonal stripe is every 50 feet.
 - The stripe shall be painted with the words "NO PARKING FIRE LANE" in white block letters in minimum-4 inches in height.
 - The stripe must appear every 50 feet or less, depending on the configuration of the fire lane, if the fire lane is less than 50 feet, the stripe must appear at the beginning and end of the fire lane.
- Vehicle-Related Conditions:** Private, closed areas shall comply with all of the following requirements:
 - Characterized by a curb not less than 4 inches in diameter and concrete 160d.
 - Spaced not more than 3 feet between curbs or curbs.
 - Set not less than 7 feet deep in a concrete footing of no less than 10 inches in diameter.
 - Set with the top of the curbs not less than 3 feet above ground.
 - Located not less than 3 feet from the protected object.
- Water Supply for Fire Protection:** An approved water supply for fire protection shall be installed and made fully operational prior to the delivery of combustible materials to a job site. The Fire Code Official shall inspect and approve the water systems prior to the delivery of combustible materials at the job site.
- Portable Fire Extinguishers:** Structures under construction, alteration or demolition shall be provided with not less than one approved portable fire extinguisher in accordance with C.F.C. Section 801 and listed for fire loss the ordinary hazard as follows:
 - All each stairway on all floor levels where construction materials have accumulated.
 - All entry storage and collection shed.
 - Throughout the building under construction in sufficient quantity to cover entrance doors (except 7 1/2 inch (21 cm).
 - The minimum rating for fire extinguishers shall be 2A:10BC.
 - Additional portable fire extinguishers shall be provided where special hazards exist, including but not limited to, the storage and use of flammable and combustible liquids.
- Fire Plan:** Fire shall comply with C.F.C., Appendix B. The minimum fire flow for the 60-2 project shall be 500 gallons per minute for a 1/2 hour based on a Type V construction with fire protection.
- Fire Sprinkler Systems:** Automatic Fire Sprinklers are required for the proposed 4-2 occupancy with an otherwise required by the C.F.C. Deferral submit of the system plans and calculations in accordance with the Fire Code Official. The plans and calculations shall be signed and sealed on every sheet by a registered Fire Protection Engineer or Fire Protection Contractor.
- Fire Department Connection (FDC):** FDCs shall be located on the front access side of building fully visible and recognizable from the street or nearest point of the department vehicle access, as otherwise approved by the Fire Chief or his/her designee. The FDC shall:
 - Face the public street on fire lane fronting the protected building and be installed at the corner line of the construction to a minimum of 10 inches above finished grade.
 - Within 40 feet of an approved roadway or driveway and arranged so that hose lines can be easily attached to the front entrance connection.
 - Within 50 feet of an approved fire hydrant.
 - All Fire Department Connections, fire sprinkler risers, standpipe connections, and fire pump connections shall be provided with a sign identifying its location in accordance with standards established by the Fire Code Official. Where the FDC does not serve the entire building, a sign shall be provided indicating the portion of the building served. The sign shall have a white background with 8 inch tall black letters to read "FDC". In the case the FDC does not serve the entire building the sign shall include the building information eg. "FDC Building 4" "FDC 805".
 - A 5-foot (1.5 m) clear access shall be maintained in front of the FDC when placed directly in front of a parking area or road. Where the clearance required relative to the road or parking area the Fire Lane Code Parking Requirements in C.F.C., Appendix Section 813.5.4 must be applied.
- Fire Alarm System:** A fire alarm system shall be installed in accordance with the C.F.C. and I.F.A. 7.2 standards. All alarm systems shall have an alarm permit issued by the Guadalupe Police Department. Permit shall be obtained prior to final occupancy approval. The fire alarm system shall be certified by Underwriters Laboratories or an equivalent nationally recognized organization.
 - Deferred notification of fire alarm plans is permitted. The plans shall be signed and sealed, on every sheet, by a registered Fire Protection Engineer or Fire Protection Contractor licensed in California.
 - A fire alarm system, at a minimum incorporating tamper switches on control valves and a Central Station service for the water flow alarm shall be installed for the sprinkler systems.
- Smoke and Carbon Monoxide Detectors/Alarms:** Smoke and Carbon Monoxide Detectors/Alarms shall be installed in accordance with the C.F.C., C.B.C., and N.F.P.A. 72.
 - Deferred notification of fire alarm plans is permitted. The plans shall be signed and sealed, on every sheet, by a registered Fire Protection Engineer or Fire Protection Contractor licensed in California.
 - A fire alarm system, at a minimum incorporating tamper switches on control valves and a Central Station service for the water flow alarm shall be installed for the sprinkler systems.
- Inspections/Approvals:** The Fire Department shall inspect/approve the following:
 - Fire access roads; prior to vertical combustible construction.
 - Fire hydrants; prior to vertical combustible construction.
 - Water mains; prior to vertical combustible construction.
 - Underground fire sprinkler piping; prior to concealment.
 - Overhead fire sprinkler piping; prior to installation.
 - Fire Alarm system acceptance test prior to occupancy clearance.
 - Fire Department Key Box; mounted in proper location wherever inside; prior to occupancy clearance.
- The Fire Department shall be given advanced notice for all inspection request via the inspection request line 805-266-3003. Inspections will be scheduled based on inspectors availability. All permits shall be issued prior to start of any work.

FIRE DEPARTMENT STANDARD CONDITIONS

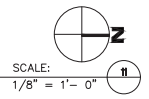


FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN



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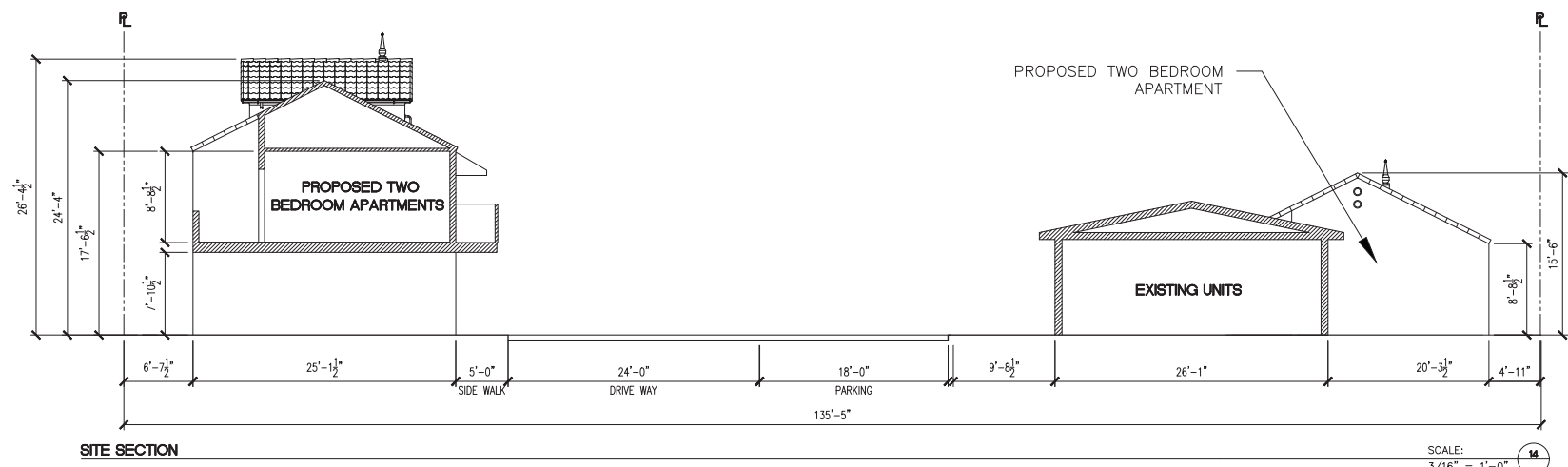
REVISIONS

PLAN CHECK #2	12/20/2024

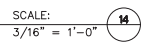


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SITE SECTION



SHEET CONTENTS:
SECOND FLOOR

DATE: 12/20/24
PROJECT MANAGER: gr
DRAWN BY:

A-2
SHEET 6 OF 12



PERSPECTIVE FACING SOUTHWEST

SCALE: 31
NTS



PERSPECTIVE FACING NORTHEAST

SCALE: 11
NTS



PERSPECTIVE FACING NORTHWEST

SCALE: 34
NTS



PERSPECTIVE FACING SOUTHEAST

SCALE: 14
NTS



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REVISIONS

NO.	DATE	DESCRIPTION



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SHEET CONTENTS:

EXTERIOR
PERSPECTIVES

DATE: 12/20/24
PROJECT MANAGER: *gr*
DRAWN BY:

A-3
SHEET 7 OF 12



PERSPECTIVE FACING SOUTHWEST

SCALE:
NTS



PERSPECTIVE FACING NORTHWEST

SCALE:
NTS



PERSPECTIVE FACING SOUTHEAST

SCALE:
NTS



PERSPECTIVE FACING NORTHEAST

SCALE:
NTS



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SHEET CONTENTS:
EXTERIOR
PERSPECTIVES
DATE: 12/20/24
PROJECT MANAGER: gr
DRAWN BY:

A-3.1
SHEET 8 OF 12



NORTH ELEVATION

SCALE: 31
NTS



SOUTH ELEVATION

SCALE: 11
NTS



EAST ELEVATION

SCALE: 34
NTS



WEST ELEVATION

SCALE: 14
NTS



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SHEET CONTENTS:
EXTERIOR ELEVATIONS
DATE: 12/20/24
PROJECT MANAGER: gr
DRAWN BY:

A-4
SHEET 9 OF 12



NORTH ELEVATION

SCALE: 33
NTS



SOUTH ELEVATION

SCALE: 13
NTS



WEST ELEVATION

SCALE: 34
NTS



EAST ELEVATION

SCALE: 14
NTS



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SHEET CONTENTS:
EXTERIOR ELEVATIONS
DATE: 12/20/24
PROJECT MANAGER: gr
DRAWN BY:

A-4.1
SHEET 10 OF 12



Marina Strawberry Tree



Cajeput Tree



Eve's Case Coffeeberry



Bicolor Fornight Lily



Anchor Bay Ceanothus



Elijah Blue Fescue



Sea Lavender



Magenta Rockrose



Decomposed Granite



Picnic Table

NOTE:
PLANT IMAGERY SHOWN IS REPRESENTATIVE OF A DESIGN CONCEPT ONLY. FINAL SELECTIONS MAY VARY. SEE CONCEPTUAL PLANTING LEGEND FOR MORE INFORMATION.

PLEINAIRE
DESIGN GROUP

1323 Lightning St., Ste. 201 // Santa Maria, CA 93455
805.349.9695 // www.pleinairdesign.com

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8TH STREET APARTMENTS

4646 8TH STREET // GUADALUPE STREET, CALIFORNIA 93434

SHEET TITLE

**PLANT
IMAGERY**

OWNER *Masatani*

4646 8th Street

Guadalupe, California 93434

T. 805.344.5603

DATE *2024.12.20*

SHEET NO. *22418*

SHEET NO.

CLP-03



REPORT TO THE GUADALUPE CITY COUNCIL
Agenda of January 28, 2025

Jeff van den Eikhof

Todd Bodem

Prepared by:
Jeff van den Eikhof, City Engineer

Approved by:
Todd Bodem, City Administrator

SUBJECT: Amendment No. 5 to the agreement for services between the City of Guadalupe and Andrew Goodwin Designs (AGD) to partially redesign the plaza area to match the new easements granted to Caltrans.

RECOMMENDATION:

It is recommended that the City Council adopt Resolution No. 2025-08 approving Amendment No. 5 to the agreement with AGD to complete a partial redesign of the plaza area where it ties into the new Caltrans easement.

BACKGROUND:

AGD was hired to complete the design work for the redevelopment of the Royal Theater and the two adjoining lots (now merged into one lot). Four previous amendments to the original agreement have been approved by the City Council. The history of these previous amendments has been reported to the City Council several times in previous staff reports, most recently at the Council meeting on October 4, 2024, so there is no need to reiterate that history in this report. If any member of the Council or the public wishes to review this information, it can be found on the City's website. This current amendment (Amendment No. 5) is needed to redesign previously prepared plans for the Royal Theater plaza area due to several easements recently granted to Caltrans as part of its ADA and sidewalk improvement project on Hwys 1 and 166.

DISCUSSION:

During the design of the ADA and sidewalk improvement project on Guadalupe Street, Caltrans discovered that approximately four feet of the existing sidewalk adjacent to the Royal Theater was outside the Caltrans right-of-way. On November 26, 2024, the City Council approved a permanent easement to Caltrans at 836 and 848 Guadalupe Street (Royal Theatre) for the widened sidewalk. The original AGD plans for the plaza went to the property line. The redesign will account for the new Caltrans easements and match the proposed sidewalk on Guadalupe Street.

FISCAL IMPACT:

The cost of the redesign of the plaza is \$9,854.

ATTACHMENTS:

1. Resolution No. 2025-08
2. Amendment No. 5 to Agreement between the City and AGD

RESOLUTION NO. 2025-08

A RESOLUTION OF THE CITY COUNCIL OF THE CITY GUADALUPE APPROVING AMENDMENT NO. 5 TO THE AGREEMENT BETWEEN THE CITY OF GUADALUPE AND ANDREW GOODWIN DESIGN TO PARTIALLY REDESIGN THE PLAZA AREA OF THE ROYAL THEATER PROJECT PLANS TO MATCH THE RECENT EASEMENTS GRANTED TO CALTRANS

WHEREAS, the City Council entered an agreement with Andrew Goodwin Design (AGD) for design/engineering services for the Royal Theater on July 13, 2021, which agreement has been amended four previous times; and,

WHEREAS, Caltrans discovered that the existing sidewalk adjacent to the Royal Theater was constructed outside of their right-of-way and offered the City monies to acquire a permanent easement for the sidewalk, and;

WHEREAS, the City Council granted a permanent easement to Caltrans on the Royal Theater property to the back of the existing sidewalk on November 11, 2024, and,

WHEREAS, AGD had already designed the plaza up to the property line at the Caltrans right-of-way, and,

WHEREAS, the plaza must be redesigned to match the back of the sidewalk and new permanent easement; and,

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Guadalupe as follows:

SECTION 1: That Amendment No. 5 to the Agreement between the City of Guadalupe and Andrew Goodwin Design, attached hereto as Exhibit 1 is hereby approved; and

SECTION 2: The Mayor is authorized to sign Amendment No. 5 on behalf of the City; and

SECTION 3: The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance to the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

PASSED, APPROVED AND ADOPTED at a regular meeting on the 28th day of January 2025 by the following vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

I, Judy Wilson, City Clerk of the City of Guadalupe, DO HEREBY CERTIFY that the foregoing Resolution, being **Resolution No. 2025-08**, has been duly signed by the Mayor and attested by the City Clerk, all at a regular meeting of the City Council, held January 28, 2025, and that same was approved and adopted.

ATTEST:

Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney

EXHIBIT 1

AMENDMENT NO. 5
TO
AGREEMENT FOR CONSULTANT SERVICES BETWEEN THE CITY OF GUADALUPE
AND
ANDREW GOODWIN DESIGNS

This Amendment No. 5 to the Agreement for Consultant Services between the City of Guadalupe and Andrew Goodwin Designs (the "**Agreement**") is made and entered into this 28th day of January 2025, by and between the City of Guadalupe, a municipal corporation ("**City**") and Andrew Goodwin Designs ("**AGD**").

WHEREAS, City Council approved the original Agreement at its meeting on July 13, 2021; and

WHEREAS, since then there have been four previous amendments to the Agreement for a variety of reasons; and

WHEREAS, recently, during the planning stages of Caltrans ADA and sidewalk improvement project on Hwys 1 and 166, Caltrans discovered that the existing sidewalk adjacent to the Royal Theater was constructed outside of their right-of-way and offered the City monies to acquire a permanent easement for the sidewalk, and;

WHEREAS, the City Council granted a permanent easement to Caltrans on the Royal Theater property to the back of the existing sidewalk on November 11, 2024, and,

WHEREAS, AGD had already designed the plaza up to the property line at the Caltrans right-of-way, and,

WHEREAS, the plaza must be redesigned to match the back of the sidewalk and new permanent easement; and

WHEREAS, AGD has prepared an "Add Service" agreement which constitutes the scope of services and provides for appropriate compensation, which document will be incorporated into the Agreement.

NOW, THEREFORE, in consideration of the foregoing recitals and in mutual consideration of the covenants and conditions set forth in the Agreement, the parties agree as follows:

All of the terms and conditions of the Agreement including all prior amendments remain the same, except as follows:

1. The document attached hereto as Exhibit A ("Add Service Agreement") is hereby to be included and incorporated to the extent appropriate as part of Attachment A (Scope of Services) and Attachment B (Compensation) to the Agreement.

CITY:

CITY OF GUADALUPE

By: _____
Ariston D. Julian, Mayor

CONSULTANT:

ANDREW GOODWIN DESGINS

By: _____
Andrew Goodwin

APPROVED AS TO FORM:

By: _____
Philip Sinco, City Attorney



EXHIBIT A

ANDREW GOODWIN DESIGNS

DESIGN | ARCHITECTURE | PLANNING

ADD SERVICE AGREEMENT

ADD Service made as of: January 2, 2025, Revised January 18, 2025
ORIGINAL AGREEMENT made: August 7, 2024

Between the CLIENT: City of Guadalupe
918 Obispo Street
Guadalupe, CA 93434

and the CONSULTANT: Andrew Goodwin, AIA
Andrew Goodwin Designs
2050 Parker Street, San Luis Obispo, CA 93401 (805-439-1611)

for the following Project: Add Service for Street Improvements

SECTION 1: SCOPE OF SERVICES:

- 1.1 Andrew Goodwin Designs (AGD)' services consist of those described in this section. This agreement is for the ADDITIONAL design and engineering for street improvements that effect the sidewalk and plaza for the Royal Theater on 848 Guadalupe Street. This is due to the City revising the street right-of-way with Cal Trans after the original agreement was signed. This changes the scope of work at the sidewalk and the plaza.
- 1.2 All services performed outside of these services listed in the previous contract and below shall be considered Additional Services. Additional Services will be billed at an hourly rate or as agreed upon by the Client and Consultant(s).

SCOPE OF SERVICES BREAK-DOWN

Design Phase:

1. Design and engineering to improve the street at 848 Guadalupe Street to eliminate the driveway apron and reconstruct the sidewalk, curb, and gutter.
2. Adjustment of the plaza design to conform to the new sidewalk including civil engineering and landscape architecture

EXCLUSIONS

The exclusions included in the previous contract are still valid. No further exclusions are required.

SECTION 2: COMPENSATION

2.1 The work described in Section 1 will be billed as a lump sum by Andrew Goodwin Designs, and the work will be performed per the consultant fee plus a 10% markup for project management and contingency.

Engineering Fee: \$3,190
Landscape Architecture Fee: \$5,864
Architecture Fee: \$900
TOTAL: \$9,854

Note: Hourly rate/fees for professional services only and does not include Reimbursable Expenses. Printing will be charged in addition to this fee above.



REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE
Agenda of January 28, 2025

Jeff van den Eikhof

Todd Bodem

Prepared by:
Jeff van den Eikhof, City Engineer

Approved by:
Todd Bodem, City Administrator

SUBJECT: Explore Consolidation of Guadalupe Transit Bus Service with Santa Maria Regional Transit

RECOMMENDATION:

It is recommended that the City Council adopt Resolution No. 2025-09, authorizing City staff to explore consolidation of the Guadalupe Flyer with the Santa Maria Regional Transit (SMRT).

BACKGROUND:

Municipalities are typically responsible for developing and managing their own local public transit systems. This involves navigating complex funding applications, overseeing contracts, and ensuring strict compliance with federal and state regulations – the primary funding source for these services.

Currently, Santa Maria and Guadalupe operate separate transit systems, each with its own administrative burdens. While some coordination exists, these parallel systems create inefficiencies. This is particularly problematic given the strong connection between the two communities and the reliance of residents on both transit agencies for daily needs.

DISCUSSION

Exploring Consolidation of Guadalupe Transit Services:

Recent challenges, such as the loss of key City and Contractor transit staff in Guadalupe and increasing regulatory demands beyond the scope of current work assignments, have made managing the Guadalupe Flyer more complicated in recent years. These challenges include:

- Difficulty meeting reporting requirements and developing an electric bus transition plan.
- Challenges in administering grants and meeting deadlines.
- Difficulty keeping up with growing demand and preparing for the upcoming expiration of the current transit operations contract.

A recent 2024 State of California TDA review and a previous (2017) regional integration study recommends the exploration of consolidating the two transit systems to improve efficiency, optimize resource allocation, and better serve the needs of the region.

Initial discussions between Santa Maria, Guadalupe, and the Santa Barbara County Association of Governments (SBCAG) have focused on the potential benefits of SMRT fully integrating the Guadalupe Flyer into its existing service network.

Key Advantages of Consolidation:

- Streamlined Operations: Centralized management of routes, fares, and technology.
- Improved Efficiency: Shared resources (fleet, staff, funding) and optimized resource allocation.
- Enhanced Service: Seamless travel experience for riders between the two communities.
- Stronger Administrative Capacity: Leverage SMRT’s experienced staff, existing contracts, and established processes.
- Improved Compliance: Better equipped to meet evolving regulations and funding requirements.

Moving Forward:

The idea of exploring a consolidation would be to see what benefits and challenges Santa Maria Regional Transit (SMRT) would assume in the administrative responsibility of Guadalupe’s transit routes for both communities. While Guadalupe could ultimately relinquish direct administrative duties, they would continue to support the service through reallocated transit funding historically provided to Guadalupe. This would streamline funding management processes, operations by centralizing route management, fare structures, and the faster onboarding of rider-centric technological advancements. Benefits include improved efficiency through shared resources (fleet, staff, funding), better data collection for service planning, and a more seamless travel experience for riders traveling between the two communities.

Alternatives

City Council may elect for staff not to explore, with SMRT and SBCAG staff, the idea of consolidating the Guadalupe transit service into SMRT services. However, this alternative is not recommended because the two communities are both economically intertwined. Additionally, the City’s contract with SMOOTH expires at the end of the fiscal year. If the consolidation does not occur, City staff will have to secure a new transit contract through a competitive process this year and every two years thereafter.

Impact on the Community

There are no anticipated impacts to either Santa Maria or Guadalupe riders due to the exploratory conversation of the Guadalupe transit service with SMRT. Should consolidation be ultimately recommended, a public participation process would be initiated before making a recommendation to either City Council. Should consolidation be recommended, it would improve the service delivery capabilities for Guadalupe residents accessing schools, job sites, and commercial opportunities in Santa Maria.

FISCAL IMPACT

There are no impacts on the City’s General Fund by taking this action. The Transit Program is an Enterprise Fund sustained solely on its own Federal and State funding sources and locally generated revenues (i.e., fares). Management of the transit program by SMRT would relieve the existing burdens on staff time.

ATTACHMENTS:

1. Resolution No. 2025-09
2. Letter of Intent – Explore Service Consolidation

RESOLUTION NO. 2025-09

A RESOLUTION OF THE CITY COUNCIL OF THE CITY GUADALUPE AUTHORIZING CITY STAFF TO EXPLORE CONSOLIDATION OF THE GUADALUPE TRANSIT BUS SERVICE WITH SANTA MARIA REGIONAL TRANSIT

WHEREAS, the City of Guadalupe is responsible for operating the Guadalupe Flyer; and,

WHEREAS, a recent State of California TDA review and a previous regional integration study recommends the exploration of consolidating the Guadalupe Flyer with the Santa Maria Regional Transit (SMRT); and,

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Guadalupe as follows:

SECTION 1: The Mayor is authorized to sign a letter addressed to the City of Santa Maria formally expressing a willingness to jointly explore consolidating Guadalupe’s transit service with Santa Maria Regional Transit.

SECTION 2: City Staff is authorized to work with Santa Maria and SBCAG staff to implement the exploration, including a series of meetings, data analysis, stakeholder engagement, and other related activities.

SECTION 3. The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance of the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

PASSED, APPROVED AND ADOPTED at a regular meeting on the 28th day of January 2025 by the following vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

I, Judy Wilson, City Clerk of the City of Guadalupe, DO HEREBY CERTIFY that the foregoing Resolution, being **Resolution No. 2025-09**, has been duly signed by the Mayor and attested by the City Clerk, all at a regular meeting of the City Council, held January 28, 2025, and that same was approved and adopted.

ATTEST:

Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney

Letter of Intent

From: City of Guadalupe

To: City of Santa Maria

Date: February XX, 2025

Subject: Intent to Explore Consolidation of Transit Services

Consistent with the City Council Action taken at the January 28, 2025 meeting, this letter formally expresses the City of Guadalupe's willingness to jointly explore with the City of Santa Maria the potential of consolidating Guadalupe's transit services with Santa Maria Regional Transit (SMRT).

Background:

Municipalities are responsible for developing and managing local public transit, a complex undertaking involving funding applications, contract oversight, and strict regulatory compliance.

Currently, Santa Maria and Guadalupe operate separate transit systems. However, a growing trend is the strong interdependence of both community's transit systems by the transit riding public and only modest ability to coordinate the two transit systems.

Transit Challenges:

Recent challenges, including staffing shortages and increasing regulatory demands, have made managing a public transit system even more difficult. These challenges include:

- Difficulty meeting reporting requirements and developing an electric bus transition plan.
- Challenges in administering grants and meeting deadlines.
- Difficulty keeping up with growing demand and preparing for the upcoming expiration of the current transit operations contract.

The anticipated outcomes of a recent (2024) State of California TDA review, an existing 2017 Regional Integration Study, and current SBCAG Transit Technical Advisory Committee discussions amongst transit operators recommend exploring the idea of transit system consolidation to enhance efficiency, optimize resource allocation, and to better serve the region and its riders.

Potential Benefits of Consolidation:

- Streamlined Operations: Centralized management of routes, fares, and technology.
- Improved Efficiency: Shared resources (fleet, staff, funding) and optimized resource allocation.
- Enhanced Service: Seamless travel experience for riders between the two communities.

- Stronger Administrative Capacity: Leverage SMRT's experienced staff, existing contracts, and established processes.
- Improved Compliance: Better equipped to meet evolving regulations and funding requirements.

Moving Forward:

Staff will coordinate meetings, exploring the idea of consolidating transit services that would analyze benefits and challenges for both Cities if Santa Maria Regional Transit (SMRT) assumed the administrative responsibility of Guadalupe's transit routes.

We believe exploring this opportunity presents significant potential for improved public transportation services for Santa Maria and Guadalupe. We look forward to collaborating with the City of Santa Maria and other stakeholders to investigate this potential partnership further.

Sincerely,

[Name and Title]

City of Guadalupe



REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE
Agenda of January 28, 2025

Prepared by:
Larry Appel, Contract Planning Director

Approved by:
Todd Bodem, City Administrator

SUBJECT: Adoption of a Resolution Granting Consent to the County of Santa Barbara to Establish the Santa Barbara County Wine Improvement District (SBCWID) and Include the City of Guadalupe in the Established SBCWID

EXECUTIVE SUMMARY:

Wine Improvement Districts (WIDs) utilize the efficiencies of private sector operation in the market-based promotion of assessed businesses. These special assessment districts allow assessed business owners to organize their efforts to increase promotions & engagement. Business owners within the WID fund the WID, and those funds are used to provide services that are desired by and benefit the assessed businesses within the WID. Wine tasting facility business owners decided to pursue formation of the SBCWID in order to establish a revenue source devoted to promoting Santa Barbara County wine testing facilities. If established, the SBCWID would generate approximately \$1,650,000 on an annual basis for promotion of wine tasting facilities specific to Santa Barbara County.

RECOMMENDATION:

It is recommended that the City Council:

- 1) Receive presentation from staff; and
- 2) Accept public testimony and close public comment; and
- 3) Adopt Resolution No. 2025-10

BACKGROUND:

The SBCWID is a benefit assessment district proposed to continue a revenue source to help fund destination sales and marketing promotions for Santa Barbara County wine tasting facilities. This approach has been used successfully in other destination areas throughout the state to increase assessed wine tasting facility sales and revenue. The proposed SBCWID includes all wine tasting facilities, existing and in the future, located within the boundaries of the County, which includes the unincorporated areas of the County, and the cities of Carpinteria, Santa Barbara, Goleta, Solvang, Buellton, Lompoc, Santa Maria, and Guadalupe. Because the proposed SBCWID will include the City of Guadalupe, consent must be granted by the City Council of Guadalupe in order for the City of Guadalupe to be included in the creation, operation and future renewals of the SBCWID.

DISCUSSION:

In California, WIDs are primarily formed pursuant to the Property and Business Improvement District Law of 1994. This law allows for the creation of special benefit assessment districts to raise funds within a specific geographic area. The key difference between WIDs and other special benefit assessment districts is that funds raised are returned to the private non-profit corporation governing the WID.

WID benefits:

- Funds cannot be diverted for other government programs;
- They are customized to fit the needs of each destination;
- They allow for a wide range of services; including: promotion, engagement, and sales lead generation;
- They are designed, created and governed by those who will pay the assessment; and
- They provide a stable funding source for promotion of assessed businesses.

The Management District Plan includes the proposed boundary of the SBCWID, a service plan and budget and a proposed means of governance. The SBCWID will include all wine tasting facilities, existing and in the future, located within the boundaries of the County, which includes the unincorporated areas of the County, and the cities of Carpinteria, Santa Barbara, Goleta, Solvang, Buellton, Lompoc, Santa Maria, and Guadalupe.

The annual assessment rate is one percent (1%) of gross sales revenue of assessed wine tasting facilities. Based on the benefit received, assessments will not be collected on purchases made outside of the state of California or purchases made pursuant to contracts executed prior to March 1, 2025. Revenue generated from the SBCWID is intended only to provide programs and services for assessed businesses, all of which are located in California. Sales made outside of the state of California are not subject to assessment due to a lack of benefit. Assessment dollars will not be spent on any programs or activities to benefit individual wine tasting facilities outside of the state of California. Assessment dollars may be spent outside of California to elevate the notoriety of the County as a premier winery destination with the desired outcome of increased in-person visitation to businesses paying the assessment.

The proposed SBCWID will have a five (5) year term, beginning March 1, 2025, or as soon as possible thereafter, and ending five (5) years from its start date. The assessment will be implemented beginning March 1, 2025. Once per year beginning on the anniversary of SBCWID formation there is a thirty (30) day period in which business owners paying fifty percent (50%) or more of the assessment may protest and begin proceedings to terminate the SBCWID.

A third-party collection agency will be responsible for collecting the assessment on a quarterly basis from each assessed wine tasting facility. The third-party collection agency shall forward the assessments to the Santa Barbara County Vintners Association, which will have the responsibility of managing SBCWID programs as provided in the Management District Plan. The third-party collection agency shall be paid a fee of up to two percent (2%) of the amount of assessment collected to cover its costs of collection and administration.

ATTACHMENT:

1. Resolution No. 2025-10

RESOLUTION NO. 2025-10

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GUADALUPE GRANTING CONSENT TO THE COUNTY OF SANTA BARBARA TO ESTABLISH THE SANTA BARBARA COUNTY WINE IMPROVEMENT DISTRICT (SBCWID) AND INCLUDE THE CITY OF GUADALUPE IN THE ESTABLISHED SBCWID

WHEREAS, the Property and Business Improvement Law of 1994, Streets and Highways Code § 36600 et seq., authorizes the County of Santa Barbara (County) to establish business improvement districts for the purposes of promoting assessed businesses; and

WHEREAS, the Santa Barbara County Vintners Association, wine tasting facility owners, and representatives from the County have met to consider the formation of the SBCWID; and

WHEREAS, the Santa Barbara County Vintners Association has drafted a Management District Plan (Plan) which sets forth the proposed boundary of the SBCWID, a service plan and budget, and a proposed means of governance; and

WHEREAS, the proposed SBCWID includes all wine tasting facilities, existing and in the future, located within the boundaries of the County, which includes the unincorporated areas of the County and the cities of Carpinteria, Santa Barbara, Goleta, Solvang, Buellton, Lompoc, Santa Maria, and Guadalupe; and

WHEREAS, the County has requested consent to form the SBCWID in the City of Guadalupe with adoption of Santa Barbara County Board of Supervisors Resolution No. 24-01301 dated December 17, 2024.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Guadalupe, that:

SECTION 1. The above recitals are true and correct.

SECTION 2. Santa Barbara County is hereby granted consent to include the City of Guadalupe in the SBCWID, for the formation of the SBCWID and future renewals.

SECTION 3: The Clerk of the City of Guadalupe is hereby directed to transmit a certified copy of this Resolution to the Clerk of the County of Santa Barbara.

SECTION 4: This Resolution is effective upon its adoption.

SECTION 5. The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance of the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

PASSED, APPROVED, AND ADOPTED at a regular meeting on the 28th day of January 2025 by the following vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

I, Judy Wilson, City Clerk of the City of Guadalupe DO HEREBY CERTIFY that the foregoing Resolution, being **Resolution No. 2025-10**, has been duly signed by the mayor and attested by the City Clerk, all at a regular meeting of the City Council, held January 28, 2025, and that same was approved and adopted.

ATTEST:

Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney



Agenda Item No. 15

REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE Agenda of January 28, 2025

Michael Cash

Prepared by:
Michael Cash, Director of Public Safety

Todd Bodem

Approved by:
Todd Bodem, City Administrator

SUBJECT: EV Charging Station Parking Restrictions

RECOMMENDATION:

That the City Council adopt Resolution No. 2025-11 to limit the amount of time an electric vehicle may stay parked in a designated EV charging station parking space on City property.

BACKGROUND:

Recently, the City received complaints about certain electric vehicles occupying electric vehicle (EV) charging stations/parking spaces on City-owned property. Specifically, the complaints were that these vehicles parked in these designated EV charging parking spaces so long that other EV vehicle owners were unable to use them to charge their own vehicles. City staff has always taken the position that EV charging stations are intended to benefit as many EVs as possible and that these spaces were not intended to be used as “storage” spaces for EVs beyond the time required to charge them.

This position is consistent with state law. California Vehicle Code section 22511(c)(1) provides, in relevant part, that a local jurisdiction “may cause the removal of a vehicle from a stall or space designated [for electric vehicle charging] ... if the vehicle is not connected for electric charging purposes.” Once the time required to charge the vehicle has transpired, it is no longer considered to be “connected for electric charging purposes.”

DISCUSSION:

Guadalupe Municipal Code (GMC) section 10.24.210 provides, in relevant part, as follows:

B. Electric Vehicle Parking Regulations. No person shall park or cause to be parked or allow to remain standing any vehicle at an electric vehicle charging station located on any street or in any parking facility, unless the vehicle is an electric vehicle, is charging, and has not exceeded any applicable parking time limit posted at the electric vehicle charging station.

C. Signs shall be erected and maintained designating the restricted parking spaces under the provisions of this section and under Vehicle Code Section 22511.

The City does not have any specific time restrictions for its EV charging station parking spaces, but the GMC clearly permits them. Since time restrictions are already permitted by the GMC, the City Council may establish them by a resolution.

City staff is recommending a maximum time limit of eight (8) hours for parking at any City designated EV charging parking space. These spaces are currently located at the Veterans Memorial Plaza parking lot and at the parking lot at the Senior Center. Unfortunately, the EV chargers at these parking spaces are not “rapid” chargers. These chargers (ClipperCreek HCS-40P chargers), deliver up to 7.7 kW, and this means that it takes about 11 hours to fully recharge a vehicle from 1% to 100%, per the manufacturer.

Many cities have a time limit of four (4) hours for parking at public EV charging stations, and the City Council could certainly approve a four (4) hour limit rather than staff’s recommendation of an eight (8) hour limit (or it could choose some other time restriction), but staff believes that eight (8) hours is fair given the length of time it takes to charge an EV with these charges. An eight (8) hour charge from 1% will get a vehicle up to about 65-75% of its maximum charge which should be sufficient for most purposes, yet it will allow other uses opportunities to use these spaces as well.

FISCAL IMPACT

None aside from the cost of new signage to inform uses of the time restriction.

ATTACHMENTS:

1. Resolution No. 2025-11 entitled “A Resolution of the City Council of the City of Guadalupe Setting a Time Limit on the Use of Public Parking Spaces Designated for the Charging of Electric Vehicles.”

RESOLUTION NO. 2025-11

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GUADALUPE SETTING A TIME LIMIT ON THE USE OF PUBLIC PARKING SPACES DESIGNATED FOR THE CHARGING OF ELECTRIC VEHICLES

WHEREAS, California Vehicle Code section 22511(a) provides that a city in possession of an off-street parking facility may designate stalls or spaces in such facility for the exclusive purpose of charging and parking a vehicle that is connected for electric charging purposes; and

WHEREAS, California Vehicle Code section 22511(c)(1) provides that a city which has designated stalls or spaces for the exclusive purpose of charging and parking a vehicle that is connected for electric charging purposes may cause the removal of vehicles from such stalls or spaces if the vehicle is not connected for electric charging purposes; and

WHEREAS, Guadalupe Municipal Code (GMC) section 10.24.210 provides that no person shall park or cause to be parked or allow to remain standing any vehicle at an electric vehicle charging station located on any street or in any parking facility, unless the vehicle is an electric vehicle, is charging, and has not exceeded any applicable parking time limit posted at the electric vehicle charging station; and

WHEREAS, City staff has received complaints that some electric vehicle owners are parking their vehicles longer than the time it takes to charge them and, as a result, are making it difficult for other electric vehicle owners to use these spaces; and

WHEREAS, the City Council has the authority to set a time limit for parking at the City-owned electric vehicle charging stations pursuant to GMC section 10.24.210; and

WHEREAS, the City Council recognizes that the particular chargers at its electric vehicle charging stations require about 11 hours for an electric vehicle to be charged from 1% to 100%, and that it is fair and equitable to limit the maximum amount of time a vehicle can park at an electric vehicle charging station to eight (8) hours as that will be adequate for most users' purposes and will increase the opportunities for more electric vehicle owners to use these spaces.

NOW, THEREFORE, the City Council of the City of Guadalupe resolves as follows:

SECTION 1. All parking of electric vehicles in spaces at City-owned electric vehicle charging stations for the purpose of charging shall be limited to a maximum period of eight (8) hours.

SECTION 2. Appropriate signage pursuant to California Vehicle Code section 22511 informing users of these spaces about the eight (8) hour time limit and that any vehicles occupying such spaces that are not connected to the chargers and is not charging shall be subject to removal by towing shall be posted prior to enforcing the time limit.

SECTION 3. The City Clerk is hereby authorized to make minor changes herein to address clerical errors, so long as substantial conformance of the intent of this document is maintained. In doing so, the City Clerk shall consult with the City Administrator and City Attorney concerning any changes deemed necessary.

PASSED AND ADOPTED at a regular meeting of the City Council on the 28th day of January 2025, by the following roll call vote:

MOTION:

AYES:

NOES:

ABSENT:

ABSTAINED:

I, Judy Wilson, City Clerk of the City of Guadalupe, do hereby certify that the foregoing Resolution, being **Resolution No. 2025-11**, has been duly signed by the Mayor and attested by the City Clerk, all at a regular meeting of the City Council, held January 28, 2025, and that same was approved and adopted.

ATTEST:

Judy Wilson, City Clerk

Ariston Julian, Mayor

APPROVED AS TO FORM:

Philip F. Sinco, City Attorney



REPORT TO THE CITY COUNCIL OF THE CITY OF GUADALUPE
Agenda of January 28, 2025

Todd Bodem

Prepared by:
Todd Bodem, City Administrator

SUBJECT: City Council appointments to various boards and committees

RECOMMENDATION:

It is recommended that the Mayor appoints City Council Members to various boards and committees representing the City of Guadalupe.

DISCUSSION:

In general, the role of a board or committee representative is to provide high-level oversight of an agency's activities and performance. The City of Guadalupe has the ability and responsibility of representing city residents in a minimum of six boards or committees.

The purpose of Guadalupe elected officials serving on the county, state or other publicly funded boards is to ensure that resources allocated by the City of Guadalupe, to these agencies, are managed according to established city, county, state, and federal guidelines. Established committees, boards, and agencies, need a board or committee representation because while conducting business, boards, or committees, can make costly errors. Having active directors or committee members can prevent the board or committee from making those mistakes; therefore, the absence of representation on board of directors or established committees is a mistake.

Role of a Council Member – City of Guadalupe

Guadalupe City Council members are elected or appointed to represent the residents of Guadalupe for ongoing city functions and to represent residents in committees in an advisory capacity to ensure that the best interest of residents remains a high priority.

There are a minimum of six Boards or Commissions established by different agencies including:

1. The Santa Barbara County Association of Governments
2. Santa Barbara County – Air Pollution Control District
3. Central Coast Water Authority (CCWA)
4. Twitchell Management Authority
5. California Joint Powers Insurance Authority (JPIA)

6. Guadalupe Senior Center Advisory Committee.

ATTACHMENTS:

1. Council Appointments to Boards and Committees List

CITY OF GUADALUPE BOARD APPOINTMENTS 2023-2024
Effective: April 11, 2023 – December 2024

BOARD/COMMISSION	2023-2024	
	PRIMARY	ALTERNATE
Santa Barbara County Association of Governments (SBCAG)	Ariston Julian	Christina Hernandez
Santa Barbara County Air Pollution Control District (APCD)	Ariston Julian	Christina Hernandez
Central Coast Water Authority (CCWA)	Megan Lizalde Whitney Furness	Shannon Sweeney Todd Bodem
Twitchell Management Authority	Christina Hernandez	Megan Lizalde
California Joint Powers Insurance Authority	Eugene Costa Jr.	Gilbert Robles
Central Coast Community Energy (3C Energy)	Ariston Julian	Eugene Costa Jr.
Guadalupe Senior Center Advisory Committee	Ariston Julian	Megan Lizalde

CITY OF GUADALUPE BOARD APPOINTMENTS 2023-2024
Effective: January 28, 2025 – December 8, 2026

BOARD/COMMISSION	2025-2026	
	PRIMARY	ALTERNATE
Santa Barbara County Association of Governments (SBCAG)		
Santa Barbara County Air Pollution Control District (APCD)		
Central Coast Water Authority (CCWA)		
Twitchell Management Authority		
California Joint Powers Insurance Authority		
Central Coast Community Energy (3C Energy)		
Guadalupe Senior Center Advisory Committee		

Santa Barbara County Association of Governments Board of Directors

2025 Meeting Schedule

Meetings are held on the 3rd Thursday of each month.

Meetings normally convene at 10 a.m. and generally conclude by Noon.

<u>Dates</u>	<u>Locations</u>
January 16	Santa Barbara
February 20	Santa Maria
February 27 - <i>SBCAG Board Retreat</i> 10 a.m. – 3:30 p.m.	TBD
March 20	Santa Barbara
April 17	Santa Maria
May 15	Santa Barbara
June 19	Santa Maria
July 17	Santa Barbara
August 21	Santa Maria
September 18	Santa Barbara
October 16	Santa Maria
November 20	Santa Barbara
December 18	Santa Maria

SANTA BARBARA Board of Supervisors Hearing Room
105 East Anapamu Street, 4th Floor
Santa Barbara, CA 93101

Remote Testimony Location:

Santa Maria Board of Supervisors Conference Room
511 East Lakeside Parkway, Santa Maria, CA 93455

SANTA MARIA Board of Supervisors Hearing Room
511 East Lakeside Parkway
Santa Maria, CA 93455

Remote Testimony Location:

Santa Barbara Board of Supervisors Hearing Room

MEMBER AGENCIES:

Buellton • Carpinteria • Goleta • Guadalupe • Lompoc • Santa Barbara
Santa Maria • Solvang • Santa Barbara County



Board of Directors 2025 Meeting Schedule

- Meetings are held on the 3rd Thursday of the months indicated below.
- Meetings convene at 1:00 p.m. and generally conclude by 3:30 p.m.
- Agendas will be posted a minimum of 72 hours prior to each meeting on the District’s website at <https://www.ourair.org/apcd-board-of-directors-agenda/>
- Live countywide television coverage available on County of Santa Barbara TV Channel 20 and online at: http://sbcounty.granicus.com/player/camera/4?publish_id=35&redirect=true

Meeting Date	Meeting Location	Remote Testimony
January 16	Board of Supervisors’ Hearing Room 105 East Anapamu Street Santa Barbara, California 93101	Board of Supervisors’ Hearing Room Santa Maria
March 20	Board of Supervisors’ Hearing Room 105 East Anapamu Street Santa Barbara, California 93101	Board of Supervisors’ Hearing Room Santa Maria
May 15	Board of Supervisors’ Hearing Room 105 East Anapamu Street Santa Barbara, California 93101	Board of Supervisors’ Hearing Room Santa Maria
June 26 (Special Meeting)	Board of Supervisors’ Hearing Room 511 East Lakeside Parkway Santa Maria, California 93455	Board of Supervisors’ Hearing Room Santa Barbara
August 21	Board of Supervisors’ Hearing Room 511 East Lakeside Parkway Santa Maria, California 93455	Board of Supervisors’ Hearing Room Santa Barbara
October 16	Board of Supervisors’ Hearing Room 511 East Lakeside Parkway Santa Maria, California 93455	Board of Supervisors’ Hearing Room Santa Barbara
December 18	Board of Supervisors’ Hearing Room 511 East Lakeside Parkway Santa Maria, California 93455	Board of Supervisors’ Hearing Room Santa Barbara



Central Coast Water Authority

2025

Board Meetings

Our board of directors meets on the fourth Thursday of each month at 9:00am. The board may also schedule special meetings at other times when needed, and will post notice according to the Brown Act.

- January 23, 2025
- February 27, 2025
- March 27, 2025
- April 24, 2025
- May 22, 2025
- June 26, 2025
- July 24, 2025
- August 28, 2025
- September 25, 2025
- October 23, 2025

<https://www.ccwa.com/>